

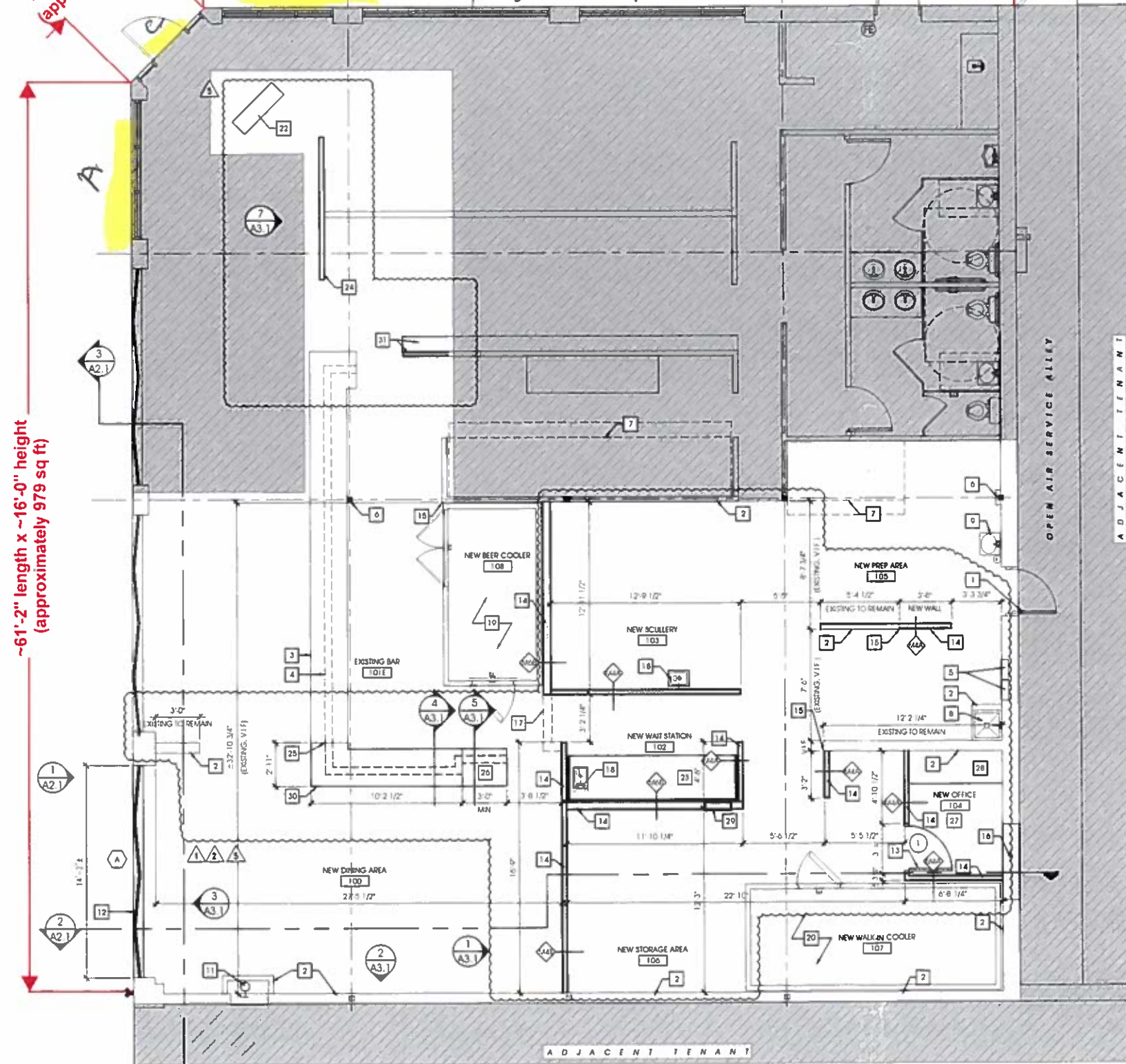
PARK ST,

~61'-2" length x ~16'-0" height
(approximately 979 sq ft)

~7'-0 1/2" x ~16'
(approx. 113 sq ft)

~54'-11" length x ~16'-0" height
(approximately 879 sq ft)

POST ST,



LEGENDS:

- HATCHED AREAS DENOTE AREAS THAT ARE NOT IN SCOPE UNLESS OTHERWISE NOTED.
- EXISTING WALL TO REMAIN
- 6" METAL STUD WALL
- 3.5" METAL STUD WALL
- INFILL WALL TO MATCH EXISTING
- NEW WALL TO MATCH EXISTING

1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. IN THE EVENT THERE ARE FOUND DISCREPANCIES OR AMBIGUITIES IN THE SPECIFICATIONS OR DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IN ORDER TO PROVIDE A WRITTEN CLARIFICATION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE COMMENCING ANY PORTION OF THE WORK. OBTAIN CLARIFICATION FROM ARCHITECT FOR OMITTED OR CONFLICTING DIMENSIONS OR CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND VERIFY SAME IN FIELD. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS.
3. DIMENSIONS ARE FROM FACE OF STUDY/CMU TO FACE OF STUDY/CMU (UNLESS OTHERWISE NOTED).
4. NON-COMBUSTIBLE CONSTRUCTION SHALL CONSIST OF METAL STUDS (COORDINATE GAUGE W/ STRUCTURAL).
5. INSTALL BLOCKING IN ALL WALLS RECEIVING CABINETS AND/OR SHELVING AT TOILET PARTITIONS AND TOILET ACCESSORIES.

WALL SCHEDULE:

- 3.5" METAL STUDS @ 16" O.C. MAX. WITH UP TO 8" AFF 1/2" CEMENTITIOUS BOARD AND 1/2" CDX PLYWOOD FROM 8" AFF TO 6" BELOW CEILING, THEN 1/2" MOISTURE RESISTANT GYP BD FROM 6" BELOW CEILING UP TO 6" ABOVE CEILING.
- 3.5" METAL STUDS @ 16" O.C. MAX. WITH UP TO 8" AFF 1/2" CEMENTITIOUS BOARD AND 1/2" CDX PLYWOOD FROM 8" AFF TO 6" ABOVE CEILING. KITCHEN SEE SEE MAJ WALL SCHEDULE.
- 6" METAL STUDS @ 16" O.C. MAX. WITH UP TO 8" AFF 1/2" CEMENTITIOUS BOARD AND 1/2" CDX PLYWOOD FROM 8" AFF TO 6" BELOW CEILING, THEN 1/2" MOISTURE RESISTANT GYP BD FROM 6" BELOW CEILING UP TO 6" ABOVE CEILING ON BOTH SIDES.

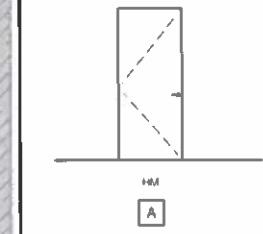
- NEW LOW WALL TO MATCH ADJACENT EXISTING LOW WALL FINISH TO MATCH EXISTING. PROVIDE STAINLESS STEEL SHELVING MATCHING ADJACENT.

CONSTRUCTION KEY NOTES:

1. EXISTING DOOR TO REMAIN
2. EXISTING WALL TO REMAIN
3. EXISTING BAR COUNTER TO REMAIN
4. OUTLINE OF EXISTING BAR COUNTER LOW WALL TO REMAIN
5. EXISTING ELECTRICAL PANELS TO REMAIN
6. EXISTING COLUMNS TO REMAIN. G.C. TO VERIFY COLUMN LOCATIONS
7. OUTLINE OF EXISTING HOOD TO REMAIN. RE: MECHANICAL PLANS
8. EXISTING MCP SINK TO REMAIN
9. EXISTING HAND SINK TO REMAIN
10. OUTLINE OF NEW GREASE TRAP. RE: PLUMBING
11. EXISTING FIRE RISER TO REMAIN. RE: PLUMBING
12. NEW NANO WALL SYSTEM TO MATCH EXISTING NANO WALL SYSTEM
13. NEW DOOR
14. NEW WALL. RE: WALL LEGEND & WALL SCHEDULE
15. ALIGN NEW WALL WITH EXISTING
16. INFILL EXISTING OPENING. NEW FINISH TO MATCH ADJACENT WALL FINISH
17. OUTLINE OF NEW BULKHEAD ABOVE
18. NEW HANDSINK. RE: PLUMBING PLANS
19. NEW WALK-IN BEER COOLER. RE: EQUIPMENT PLAN
20. NEW WALK-IN COOLER. RE: EQUIPMENT PLAN
21. NEW BAR FIXTURES. RE: EQUIPMENT PLAN
22. NEW HOST STAND TO BE PROVIDED BY OWNER AND INSTALLED BY G.C.
23. NEW WAIT STATION COUNTER
24. NEW BREEZE BLOCK KNOE WALL. RE: DETAIL T3A.1. G.C. TO REINSTALL PREVIOUSLY REMOVED SHELVING AFTERWARDS
25. ALIGN NEW BAR COUNTER LOW WALL TO EXISTING BAR COUNTER LOW WALL
26. NEW ADA BAR COUNTER
27. PROVIDE 3/4" PLYWOOD BACKING IN 3 WALLS OF NEW OFFICE
28. NEW OFFICE COUNTER
29. NEW ELECTRICAL PANEL. RE: ELECTRICAL
30. NEW BAR COUNTER TO MATCH EXISTING BAR COUNTER

DOOR SCHEDULE

ID	DOOR				FRAME				REMARKS	
	SIZE	TYPE	MATERIAL	FINISH	HWD	MATERIAL	HEAD	JAMB		FINISH
7	3'-0" x 7'-0" x 1'-3/4"	A	H.M.	PAINT BLACK	SET 1	H.M.	9/16" x 2"	10/16" x 2"	PAINT BLACK	DOOR TO RECEIVE 34"x12" DIAMONDED PLATE ON PUSH SIDE & KITCHEN SIDE

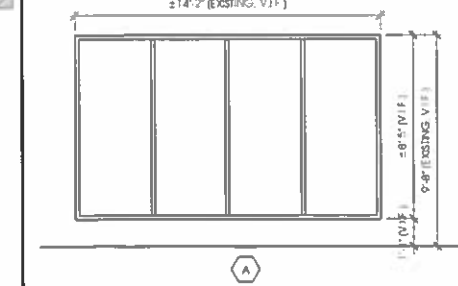


HARDWARE SET #1

HINGES	(3) BALL BEARING - PAINT GRADE
CLOSER	(1) SC80 SERIES - DOR-O-MATIC (OR EQUAL) DARK BRONZE FINISH
THRESHOLD	NONE
ENTRY SET	(1) 8 SERIES (B511) LEVERS ENTRY / FALCON (OR EQUAL) SATIN BRONZE
DOOR BOTTOM SEAL	NONE
DOOR WEATHER-STRIPPING	NONE

WINDOW SCHEDULE

ID	ROUGH OPENING	TYPE	COLOR	REMARKS
A	14'-2" (EXISTING, V.I.F.)	NANO WALL	TO MATCH EXISTING	NEW NANO WALL / WINDOW TO MATCH EXISTING. NANO WALL (3.45 - F) @ 24518-1



DOOR & WINDOWS GEN. NOTES

1. ALL GLASS BELOW 8" IN DOORS AND ABOVE DOORS SHALL BE TEMPERED GLASS
2. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR STOREFRONT
3. ALL DOOR HARDWARE TO BE COMPLIANT WITH IBC ACCESSIBILITY CODE 11-4.13.9. THRESHOLD AT DOOR TO BE NO HIGHER THAN 1/2 INCH.

PROPOSED FLOOR PLAN

INTERPLANS
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT
 AA 003.420
 CA 8660
 604 COURTLAND STREET
 SUITE 100
 ORLANDO, FLORIDA 32804
 PH 407.645.5008
 FX 407.629.9124

SEAL
 THIS DOCUMENT IS NOT FOR CONSTRUCTION UNLESS THE ARCHITECT'S OR ENGINEER'S SIGNATURE AND SEAL APPEAR BELOW.

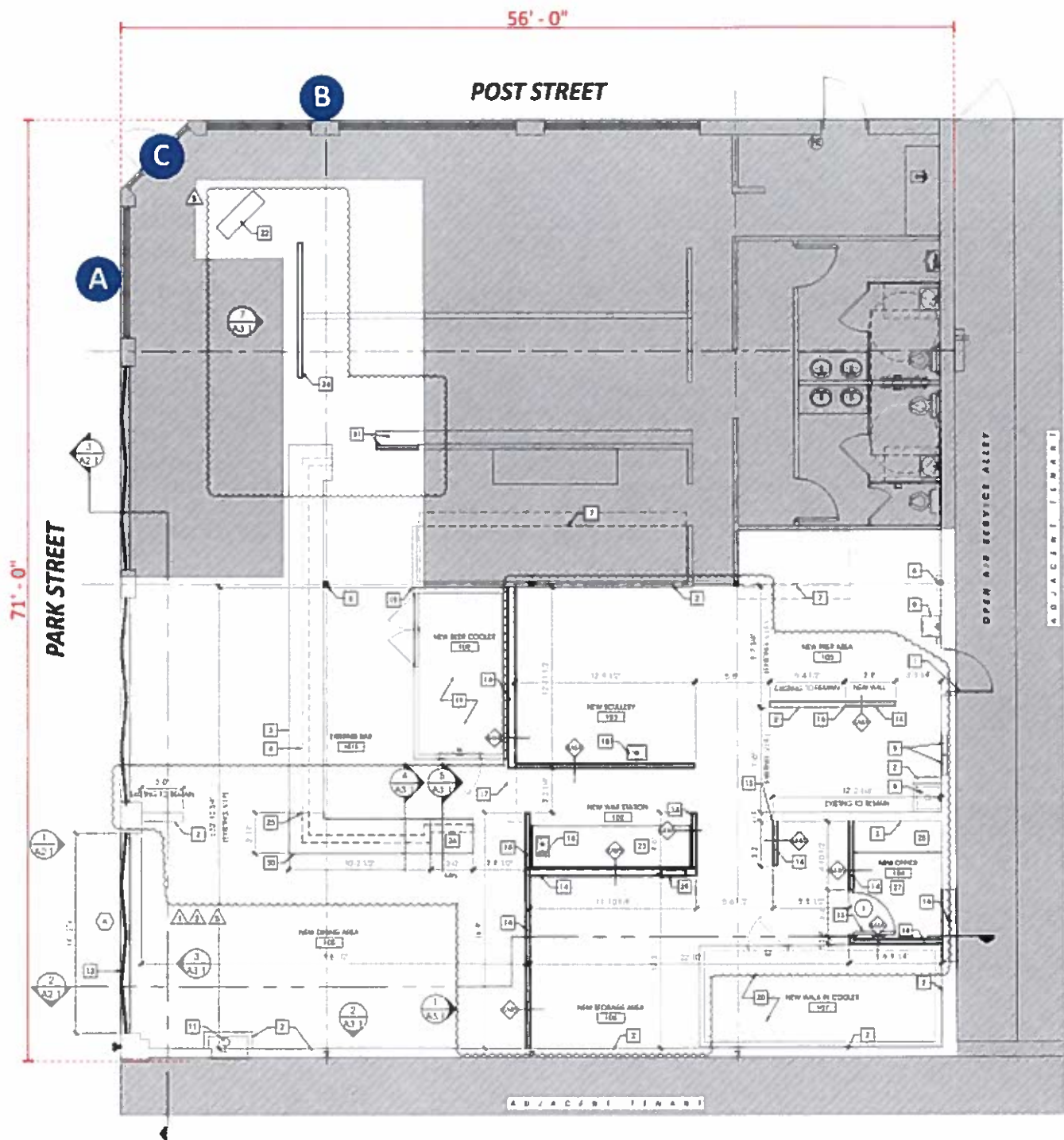
REVISIONS
 5. 02/18/19 OWNER REVISIONS
 3. 09/21/18 PERMIT COMMENTS
 2. 09/19/18 OWNER REVISIONS - VE
 1. 02/24/18 OWNER REVISIONS
 NO DATE REMARKS

HAWKERS
 JACKSONVILLE, FL
 REMODEL
 1001 PARK ST
 JACKSONVILLE, FL 32204

PROJECT NO: 2018 0017
 DATE: 2-15-18

A1.1
 PROPOSED FLOOR PLAN

Exhibit 3



LOCATION	SIGN KEY DESCRIPTION	SQ FOOTAGE	
		ALLOWED	PROPOSED
A	WALL SIGN	33.5	30.22
B	WALL SIGN	30	17.9
C	WALL SIGN		12.56
TOTAL		63.5 SF	60.68 SF

CODE ALLOWS .5 SF PER LINEAL FRONTAGE

Design #	
0823751AR03	
Sheet 1 of 8	
Client	
HAWKERS	
Address	
1001 PARK ST. JACKSONVILLE, FL	
Account Rep.	M MARIN
Designer	T BEST
Date	05/07/19
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision/Date	

R01:PM:05/09/19-ADD OPT 2 FOR PLACEMENT (A), REVISE TO ORANGE/WHITE FACE (B)
R02:EC:09/05/19: (A&B) REDUCE. ADD SIGN KEY.
R03:EC:09/06/19: (A&B) INCREASE.

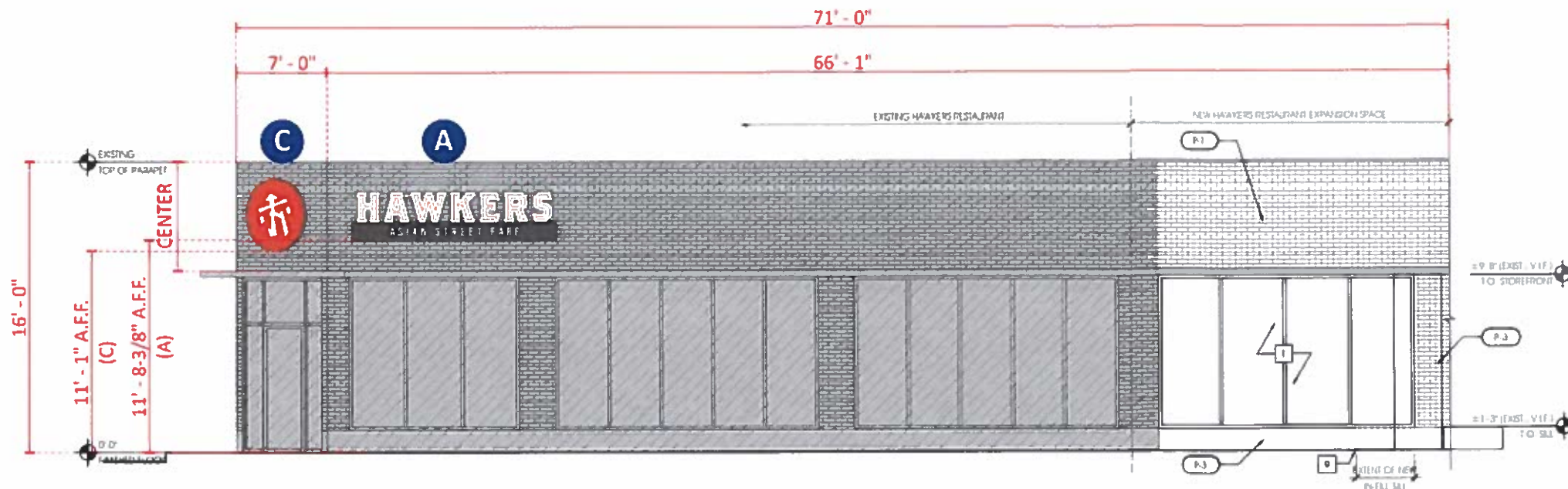


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San Antonio, TX 78232
(214) 949-3884 Fax (214) 949-8734
- West Coast**
2220 Executive Ridge Dr
San Jose, CA 95131
(781) 736-1788 Fax (781) 736-1732
- Northeast US**
2301 River Road
North York, NY 10205
(914) 997-4800 Fax (914) 997-2575
- Georgia**
111 Woodstone Place
Dunwoody, GA 30118
(404) 729-8832 Fax (404) 729-8734
- South Texas**
PO Box 125 25th Street Drive
Portland, TX 78174
(361) 589-1999 Fax (361) 545-8511

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FINAL ELECTRICAL CONNECTION BY CUSTOMER



BLOG, PARK ST
 16' x 71' = 1136 #
 SIGNA 2.664 x 11.33 = 30.18 #
 SIGNC 4' x 4' = 16 #

ELEVATION - PARK ST SCALE: 1/8" = 1' - 0"



Design #	0823751AR03
Sheet	2 of 8
Client	HAWKERS
Address	1001 PARK ST. JACKSONVILLE, FL
Account Rep.	M MARIN
Designer	T BEST
Date	05/07/19
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	

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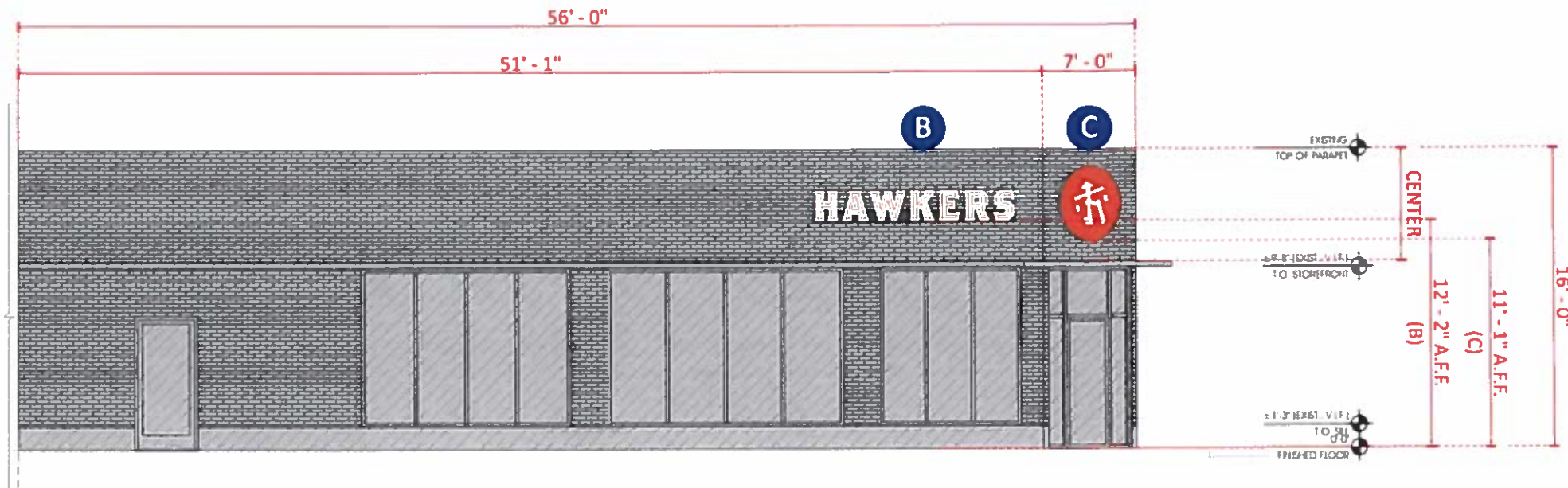


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West Coast	3320 Executive Ridge Dr San Jose, CA 95131 (408) 736-1700 Fax (408) 736-2712
Northeast US	2303 River Road Suite 202 Louisville, KY 40206 (502) 887-9800 Fax (502) 884-3275
Georgia	111 Woodstone Place Dunwoody, GA 30346 (404) 729-6850 Fax (404) 729-6724
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FINAL ELECTRICAL CONNECTION BY CUSTOMER



BLDG (POST ST.)
 16' x 51' = 816 #
 SIGN B
 1.664 x 10.75 = 17.9 #

ELEVATION - POST ST SCALE: 1/8" = 1' - 0"

Design #	
0823751AR03	
Sheet	3 of 8
Client	
HAWKERS	
Address	
1001 PARK ST. JACKSONVILLE, FL	
Account Rep.	M MARIN
Designer	T BEST
Date	05/07/19
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	

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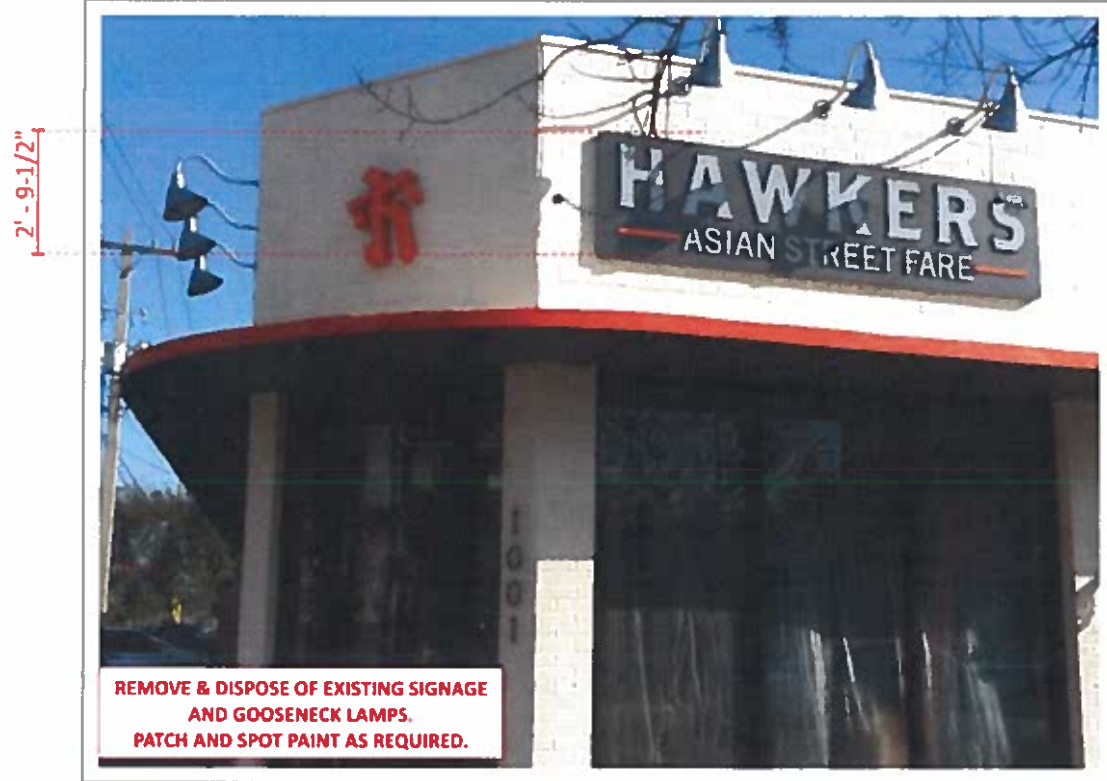


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Northeast US	2303 River Road Suite 201 Loudsville, KY 40305 (606) 885-8820 Cell (606) 884-2575
Georgia	111 Woodchicken Place Doraville, GA 30259 (404) 275-0852 Fax (404) 275-0724
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FINAL ELECTRICAL CONNECTION BY CUSTOMER



REMOVE & DISPOSE OF EXISTING SIGNAGE
AND GOOSENECK LAMPS.
PATCH AND SPOT PAINT AS REQUIRED.

EXISTING CONDITIONS



PROPOSED

Design #	
0823751AR03	
Sheet 4 of 8	
Client	
HAWKERS	
Address	
1001 PARK ST. JACKSONVILLE, FL	
Account Rep.	M MARIN
Designer	T BEST
Date	05/07/19
Approval / Date	
Client	
Sales	
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Landlord	
Revision/Date	

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Waco, TX 76798
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Lafayette, LA 70508
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Dunwoody, GA 30114
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FINAL ELECTRICAL CONNECTION BY CUSTOMER



REMOVE & DISPOSE OF EXISTING SIGNAGE AND GOOSENECK LAMPS. PATCH AND SPOT PAINT AS REQUIRED.

EXISTING CONDITIONS



PROPOSED

Design #	
0823751AR03	
Sheet	5 of 8
Client	
HAWKERS	
Address	
1001 PARK ST. JACKSONVILLE, FL	
Account Rep.	M MARIN
Designer	T BEST
Date	05/07/19
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision/Date	

R01:PM:05/09/19:ADD OPT 2 FOR PLACEMENT (A), REVISE TO ORANGE/WHITE FACE (B)
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 R03:EC:09/06/19:(A&B) INCREASE.



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Northeast US	2301 Bear Road Suite 201 Louisville, KY 40205 (502) 887-8822 Cell (502) 884-2575
Georgia	111 Woodstone Place Dunwoody, GA 30118 (770) 775-8822 Fax (770) 449-8734
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FINAL ELECTRICAL CONNECTION BY CUSTOMER



$2.664 \times 11.33 = 30.18 \text{ \#}$



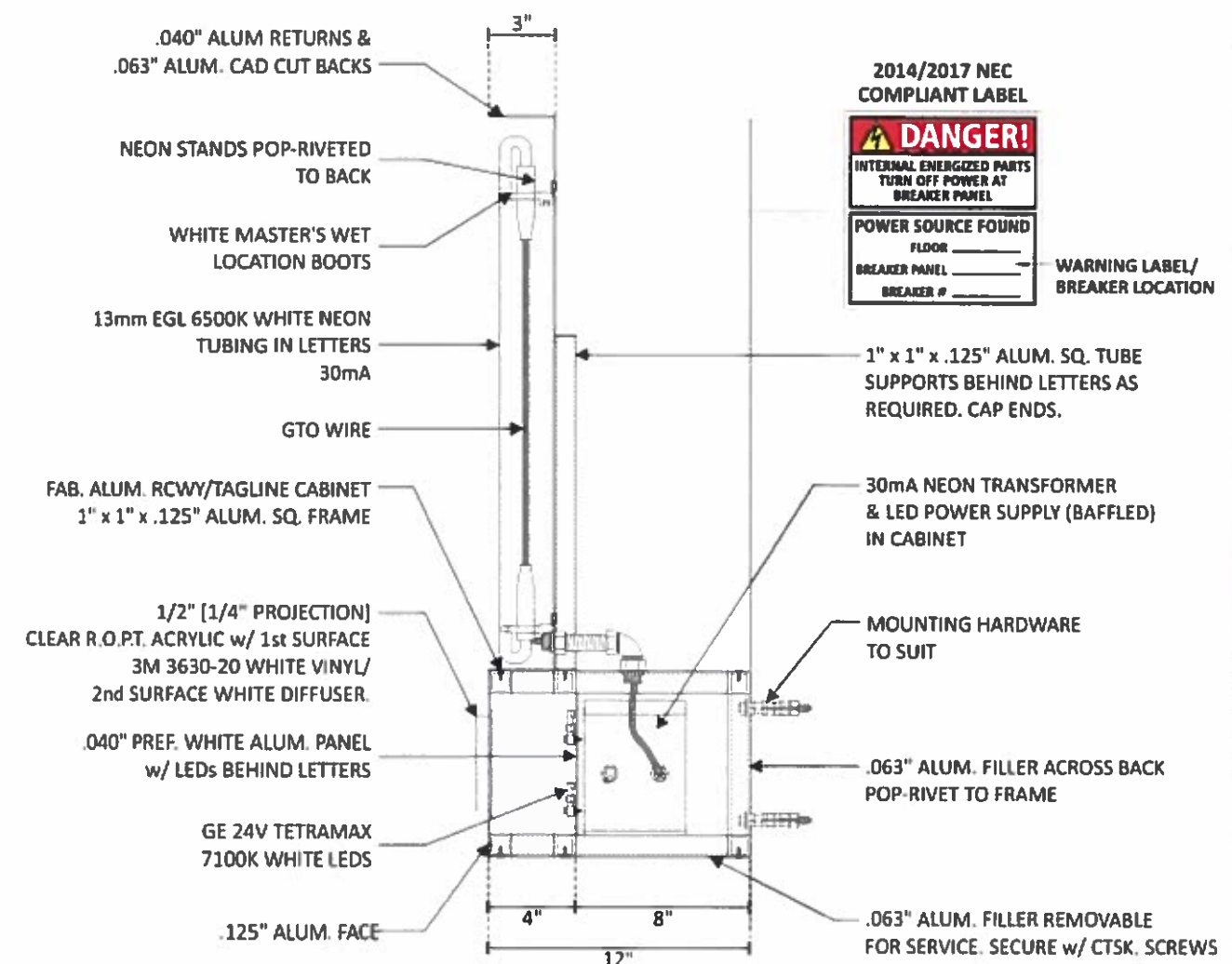
A OPEN FACE NEON LETTERS SCALE: 1/2" = 1' - 0"
 ONE [1] REQUIRED - MANUFACTURE & INSTALL
 GENERAL SPECIFICATIONS
 30.18 #

- LETTERS:**
 MANUFACTURE AND INSTALL NEW 3" DEEP OPEN-FACE ALUMINUM CHANNEL LETTERS.
- RETURNS ARE PTM PMS 425C GRAY. INTERIOR OF CANS PAINTED MAP WHITE
- INTERNALLY ILLUMINATE WITH 15MM ORANGE NEON TUBING & 30mA TRANSFORMERS HOUSED IN TAGLINE CABINET BELOW.
- MOUNT TO TOP OF RACEWAY CABINET W/ 1" SQ TUBE SUPPORTS PAINTED TO MATCH PMS 425C GRAY.
- TAGLINE CABINET:**
 MANUFACTURE AND INSTALL NEW 12" DEEP ROPT CABINET PTM PMS 425C
- COPY IS 1/2" THICK [1/4" PROJECTION] CLEAR ACRYLIC W/ 1ST SURFACE 3630-20 WHITE VINYL & 2ND SURFACE WHITE DIFFUSER FILM. INTERNALLY ILLUMINATE WITH PRE FINISHED WHITE LED PANEL
- HOUSE POWER SUPPLIES IN CABINET
- MOUNT FLUSH TO WALL WITH MOUNTING HARDWARE TO SUIT



NIGHT VIEW

END VIEW



PRELIM. DETAIL
 SCALE: 1-1/2" = 1' - 0"

Design #	0823751AR03
Sheet	6 of 8
Client	HAWKERS
Address	1001 PARK ST. JACKSONVILLE, FL
Account Rep.	M MARIN
Designer	T BEST
Date	05/07/19
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision/Date	

R01-PM-05/09/19:ADD OPT 2 FOR PLACEMENT (A), REVISE TO ORANGE/WHITE FACE (B)
 R02-EC-09/05/19: (A&B) REDUCE. ADD SIGN KEY
 R03-EC-09/06/19: (A&B) INCREASE.



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 3220 Executive Ridge Dr
 San Jose, CA 95128
 (408) 724-1700 Fax (408) 724-9752

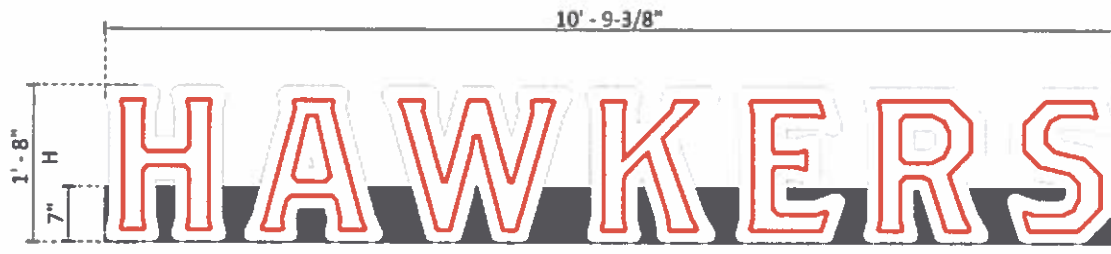
Northeast US
 2301 River Road
 Suite 201
 Louisville, KY 40206
 (502) 899-0800 Cell (502) 899-2875

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FINAL ELECTRICAL CONNECTION BY CUSTOMER



1.664 x 10.75 = 17.9 #



END VIEW

B OPEN FACE NEON LETTERS W/ RACEWAY SCALE: 1/2" = 1' - 0"
ONE [1] REQUIRED - MANUFACTURE & INSTALL 17.9 SQFT

GENERAL SPECIFICATIONS

MANUFACTURE AND INSTALL NEW 3" DEEP OPEN-FACE ALUMINUM CHANNEL LETTERS.

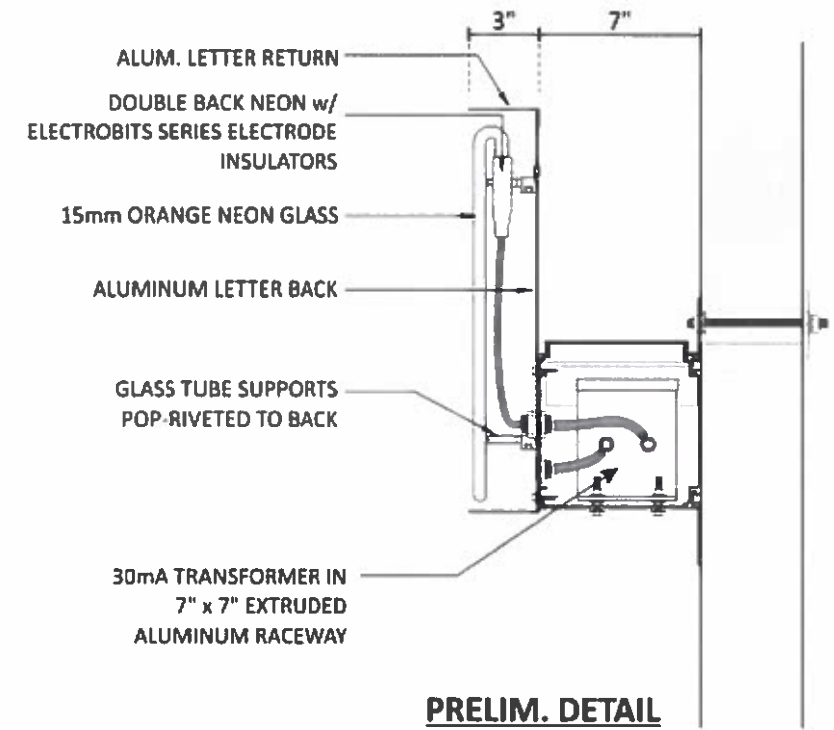
PAINT RETURNS TO MATCH PMS 425C GRAY. INTERIOR OF CANS PAINTED MAP WHITE

INTERNALLY ILLUMINATE WITH 15MM ORANGE NEON TUBING & 30mA TRANSFORMERS HOUSED IN EXTRUDED ALUMINUM RACEWAY. PAINT RACEWAY TO MATCH PMS 425C GRAY.

MOUNT FLUSH TO WALL WITH MOUNTING HARDWARE TO SUIT



NIGHT VIEW



PRELIM. DETAIL
SCALE: 1-1/2" = 1' - 0"

Design #	0823751AR03
Sheet	7 of 8
Client	HAWKERS
Address	1001 PARK ST. JACKSONVILLE, FL
Account Rep.	M MARIN
Designer	T BEST
Date	05/07/19
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision/Date	

R01-PM:05/09/19-ADD OPT 2 FOR PLACEMENT (A), REVISE TO ORANGE/WHITE FACE (B)
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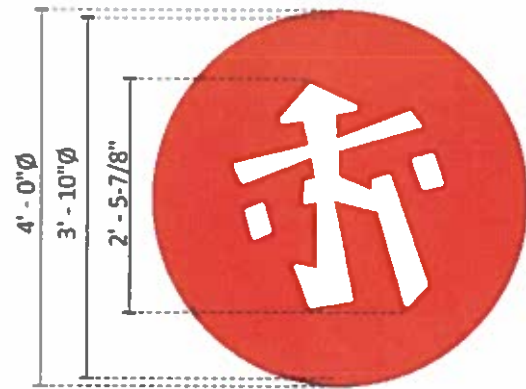


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West Coast	3270 Lantana Ridge Dr Van Nuys, CA 91411 (781) 724-1700 Fax (781) 724-2752
Northeast US	2381 River Road Suite 201 Louisville, KY 40206 (502) 882-8880 Cell (502) 854-2575
Georgia	111 Woodbine Place Dunwoody, GA 30114 (770) 771-8812 Fax (770) 771-8724
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FINAL ELECTRICAL CONNECTION BY CUSTOMER



4'x4' = 16'φ



END VIEW

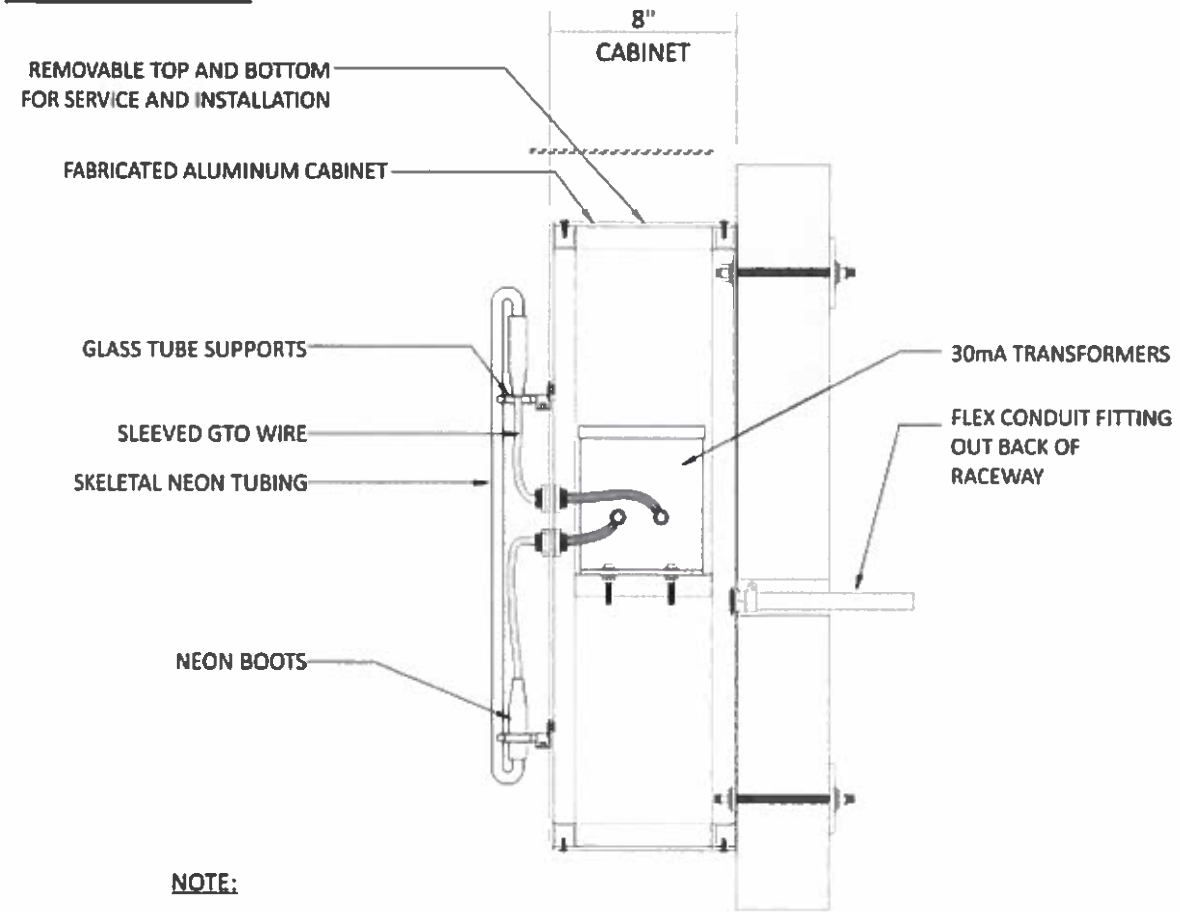
C NEON WALL SIGN SCALE: 1/2" = 1' - 0"
ONE (1) REQUIRED - MANUFACTURE & INSTALL 12.56 SQFT

GENERAL SPECIFICATIONS

- MANUFACTURE AND INSTALL NEW 8" DEEP FABRICATED ALUMINUM CABINET
- PAINT FACE ORANGE (EXACT COLOR TBD) AND MAP WHITE. PAINT RETURNS TO MATCH PMS 425C GRAY.
- ILLUMINATE WITH 15MM SKELETAL ORANGE NEON MOUNTED TO CABINET FACE.
- HOUSE 30mA TRANSFORMERS IN CABINET
- SIGN MOUNTS FLUSH TO WALL



NIGHT VIEW



NOTE:

ALL WIRING TO BE IN ACCORDANCE WITH UL, NEC AND LOCAL CODES.

PRELIM. DETAIL
SCALE: 1-1/2" = 1' - 0"

Design #	0823751AR03
Sheet	8 of 8
Client	HAWKERS
Address	1001 PARK ST. JACKSONVILLE, FL
Account Rep.	M MARIN
Designer	T BEST
Date	05/07/19
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	

- R01:PM:05/09/19-ADD OPT 2 FOR PLACEMENT (A), REVISE TO ORANGE/WHITE FACE (B)
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- R03:EC:09/06/19: (A&B) INCREASE.



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San Antonio, TX 78232
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Northeast US
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Suite 202
Louisville, KY 40206
(502) 897-8830 Cell (502) 854-2575

Georgia
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Dunwoody, GA 30118
(770) 477-8832 Fax (770) 477-8724

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