

City of Jacksonville Landmark Designation Report

231 Laura Street North

LM-25-06
May 28, 2025



Property Owner:
Carmen Godwin
Historic Urban Core, LLC
4834 Malpas Lane
Jacksonville, Florida 32210

REPORT OF THE PLANNING DEPARTMENT
APPLICATION FOR DESIGNATION
AS A CITY OF JACKSONVILLE LANDMARK

LM-25-06

Historic Name: National Shirt Shops Building

Other Names: 231 North Laura Street (FMSF)

Address: 231 Laura Street North, RE# 073696-0000

Location: Southeast corner of Laura Street North and Monroe Street West

Owner: Carmen Godwin
Historic Urban Core, LLC
4834 Malpas Lane
Jacksonville, Florida 32210

Applicant: Same as owner

Year Built: 1957 (Permit Records)

PROPERTY DESCRIPTION

LM-25-06 seeks to designate the subject property located at 231 Laura Street North (RE# 073696-0000) as a local landmark. The property consists of a two-story masonry vernacular commercial structure. Constructed in 1957, the building is characterized by its rectangular form, its flat roof with a large billboard, its brick exterior, its recessed doorway, its plate glass storefront windows, its terrazzo decorative knee wall, its overall restraint in architectural detailing, and its corner signage feature on the second floor. The building has been altered slightly from its original form including changes to the storefront, the installation of a covered awning on the secondary entrance, and the painting of a mural on the secondary facade.



FINDINGS AND CONCLUSIONS

- (A) Consistent with the JACKSONVILLE ORDINANCE CODE, SECTION 307.104(d), the Planning Department determined that the application for designation of the subject property was complete.
- (B) As required, the Planning Department had signs posted in front of the property being considered for designation, as well as sent notices by U.S. Mail to each owner of real property within three hundred and fifty (350) feet of the proposed landmark. Notice of the public hearing on the designation of the subject property was published in the *Financial News and Daily Report*. Proof of publication is attached to this report.

- (C) Once designated, any activity affecting the exterior of the building and site of the subject property will require a Certificate of Appropriateness (COA). All proposed work will be reviewed for consistency with the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*. The review of most routine work scopes including repairs, maintenance, alterations of previously altered features, small additions and size-limited new construction that would not impact significant historic elements or would not be readily street visible can be processed by the Historic Preservation Section (HPS) of the Jacksonville Planning Department, but certain activities like alterations, additions, new construction, relocation and demolition that would be visible from the public right-of way, as well as any work the HPS determines to be potentially in conflict with the *Secretary of the Interior Standards*, will require review by the Jacksonville Historic Preservation Commission.

The purpose of the historic designation of this site is to provide protection, not to discourage or prohibit the future development of the site. The review of work through the COA process is to preserve the historic character, architectural features, and materials of this significant structure, as well as, to ensure any future development of the site is compatible with and sensitive to this primary historic resource.

- (D) In preparing the application, the Planning Department has found the application to meet **three of the seven** criteria. The **three** criteria include the following.

A. Its value as a significant reminder of the cultural, historical, architectural, or archaeological heritage of the city, state or nation.

It is the determination of the Jacksonville Planning Department that the subject property meets this landmark criterion.

231 Laura Street North is listed as a contributing property within the Downtown Jacksonville National Historic District. By 1900, Jacksonville was the largest city in Florida in terms of population, which had reached 28,430. The signature event in the history of Downtown Jacksonville that defined the character of the city during the first half of the twentieth century was the "Great Fire of 1901". Starting in the LaVilla area west of Downtown at noon on May 3, 1901, the fire destroyed within an eight-hour period over 2,300 buildings located on 148 city blocks causing an estimated 15 million in property damage. Although only seven people lost their lives because of the fire, 8,677 people were left homeless. Destroying the oldest and most densely populated area of the city, the fire consumed twenty-three churches, ten hotels including the grand St James and Windsor, as well as almost all public buildings such as the courthouse and city hall.¹

¹ For more on the 1901 fire see: Bill Foley and Wayne W. Wood, *The Great Fire of 1901* (Jacksonville Historical Society, 2001).

T. Frederick Davis, *History of Jacksonville, Florida, and Vicinity, 1513-1924* (St. Augustine: Florida Historical Society, 1925, 1990 Reprint), 219-228.

Historic Property Associates, *Historic Buildings Survey of Downtown Jacksonville* (Jacksonville Downtown Development Authority, November 1991), 11-13

James Robertson Ward, *Old Hickory's Town, An Illustrated History of Jacksonville* (Jacksonville, Florida: Old Hickory's Town, Inc., 1985), 175-186.

The destruction caused by the 1901 fire ushered in a new era of growth in Downtown Jacksonville. The business opportunities caused by the fire had attracted numerous architects, builders, and investors from different parts of the country. New construction in the Downtown area began to reflect a variety of architectural styles popular during the first quarter of the twentieth century such as the traditional Colonial, Neoclassical, and Gothic Revivals interspersed with the more modernistic designs of the Prairie School and the Chicago school of commercial architecture. These latter styles were particularly evident in the work of noted architect, Henry John Klutho (1873 – 1964) who came to Jacksonville after reading about the 1901 fire in the *New York Times*.² 29 East Adams Street was one of the many buildings that was constructed downtown in the years following the fire. Henry John Klutho designed the building in 1913 with many prairie school commercial style elements from its horizontal bands of brick and windows to its pier and pilaster capitals. The building was constructed during 1914 and completed in 1915 with the Home Telephone Company occupying the structure shortly thereafter.³ The first floor was divided into three commercial spaces, two of which were rented out and the farthest right space was used by the Home Telephone Company. The structure continued to function as commercial space in this capacity until the mid-1960s when it was redesigned.

The collapse of the Florida Land Boom in the 1920s followed by the onset of the Great Depression during the 1930's did slow the growth and development of Jacksonville. For example, during the height of the Florida Land Boom in 1926, building permits were valued at \$13,051,074. By 1931, building permit value had fallen to a low in Jacksonville of \$1,728,200, with most of it attributed to alterations and expansion, or from residential construction in the newer suburbs outside Downtown and adjacent urban neighborhoods. Building permit activity did significantly increase following the annexation of growing South Jacksonville to the city in 1932. During the 1930's, only a few significant new buildings were added to the downtown area. The two most significant being the United States Post Office and Courthouse at 310 West Duval Street (1932 – 1933), and the Western Union Company Building at 333 North Laura Street (1930 – 1931). The Great Depression followed by World War II resulted in the built environment of Downtown Jacksonville remaining much as it was at the end of the Florida Land Boom in 1929.⁴

Following World War II, Downtown continued to serve as the financial, commercial, and social heart of the city. Although residential uses had become less a component of Downtown, a variety of offices and businesses continued to thrive. At the same time, the core city also began having more competition from suburban shopping centers and commercial strips. However, between 1955 and 1965, Jacksonville's Downtown entered its greatest period of growth and redevelopment

² For more on Jacksonville during the two decades after the 1901 fire see: James B. Crooks. *Jacksonville After the Fire, 1901-1919: A New South City* (Jacksonville, Florida: University of North Florida Presses, 1991).

For more on the life and works of Henry John Klutho see: Robert C. Broward, *The Architecture of Henry John Klutho: The Prairie School in Jacksonville* (Jacksonville, Florida: University of North Florida Presses, 1983). Historic Property Associates, 13-17

Bill Foley and Wayne W. Wood, *The Great Fire of 1901* (Jacksonville Historical Society, 2001), 212-219.

³ Broward, Robert C., *The Architecture of Henry John Klutho: The Prairie School in Jacksonville* (Jacksonville: University of North Florida Press, 1983), 208.

⁴ Wood, 28, 71, & 81.

Historic Property Associates, 20-21.

since the building renaissance following the Great Fire of 1901.⁵ Under the leadership of Haydon Burns, a five-term mayor and later Governor of Florida, the City launched perhaps its most extensive civic improvement program. This initiative to improve downtown started in 1955 when Mayor Burns used four million dollars in Parking Lot Certified Bonds to clean-up the north bank by acquiring and removing old docks and warehouses to accommodate a new bulkhead. During that same year, the Jacksonville Expressway Authority was organized for the purpose of designing and funding a new highway system that would enhance traffic flow between downtown and the growing suburbs. During this period, the building at 231 Laura Street North was constructed. The building exhibits many of the characteristics of commercial architecture of the period, most notably its restraint in architectural detailing and its built-in billboard on the front corner of the primary façade.

B. Its location is the site of a significant local, state or national event.

It is the determination of the Jacksonville Planning Department that the subject property does not meet this landmark criterion.

C. It is identified with a person or persons who significantly contributed to the development of the city, state or nation.

It is the determination of the Jacksonville Planning Department that the subject property does not meet this landmark criterion.

D. It is identified as the work of a master builder, designer, or architect whose individual work has influenced the development of the city, state or nation.

It is the determination of the Jacksonville Planning Department that the subject property does not meet this landmark criterion.

E. Its value as a building is recognized for the quality of its architecture, and it retains sufficient elements showing its architectural significance.

It is the determination of the Jacksonville Planning Department that the subject property meets this landmark criterion.

There are about 35 contributing Masonry Vernacular buildings in the Downtown Jacksonville Historic District, including 231 Laura Street North. Such buildings are normally designed and constructed by local craftsmen from readily available masonry products. Masonry Vernacular buildings tend to be mostly unornamented and simple in design. Windows and doors are symmetrically spaced on an elevation to form a regular rhythm of functional and negative space referred to as bays. Decoration is simple and usually limited to string courses, window or door lintels, and cornices. Most of the Masonry Vernacular buildings in the Downtown Jacksonville Historic District were constructed throughout the period of significance (1901-1965) and were constructed for commercial purposes. These structures were typically characterized by a horizontal

⁵ James B. Crooks, Jacksonville, *The Consolidation Story, From Civil Rights to the Jaguars* (Gainesville, University Presses of Florida, 2004), 1-2.

division into two distinct zones. The two zones are separated by the use of the interior space of the building. The lower zone is usually reserved for retail space and often contains large plate glass display windows, while the upper part contains space for offices or apartments. The exterior design of such buildings are usually homogeneous, but in some cases different building materials and exterior fabrics are used visually to divide the two zones.

231 Laura Street North is typical of a commercial Masonry Vernacular structure in the Downtown Jacksonville Historic District. The first floor of the primary façade features a storefront with large plate glass display windows. The corner signage on the second floor and the billboard on the roof are evidence of the structure's blend of commercial use and architectural elements. The use of terrazzo for the front knee wall and flooring is typical for commercial architecture during the period as well.

F. It has distinguishing characteristics of an architectural style valuable for the study of a period, method of construction, or use of indigenous materials.

It is the determination of the Jacksonville Planning Department that the subject property does not meet this landmark criterion.

G. Its suitability for preservation or restoration.

It is the determination of the Jacksonville Planning Department that the subject property meets this landmark criterion.

In utilizing this criterion, it has been the practice of the Planning and Development Department to evaluate proposed landmarks based on evidence of significant exterior alterations that have negatively impacted character-defining features, as well as alterations that are or would be difficult, costly, or impossible to reverse. Further, the degree and nature of any exterior deterioration, as well as the evidence of long term and potentially on-going neglect are also a factor in evaluating potential landmarks for their suitability for preservation or restoration.

231 Laura Street North has not been altered in a manner that has destroyed its original architectural significance and any alterations that have been made to the structure are reversible. Furthermore, the structure does not show evidence of any significant deterioration that threatens the stability or integrity of the building. The structure is currently vacant and the owner has proposed to renovate the structure to allow for commercial use on the first floor and basement and residential use on the second floor.

RECOMMENDATION

Since the property owner is in favor of the designation, at least **two of the seven** criteria must be met, pursuant to Section 307.107(j) of the Ordinance Code. In reviewing the application, the Planning Department has found the application to meet **three of the seven** criteria.

Based on the findings of this report and consideration of the Ordinance Code, the Jacksonville Planning Department recommends that the Jacksonville Historic Preservation Commission **APPROVE** the designation of 231 Laura Street North (**LM-25-06**) as a City of Jacksonville Landmark.



REQUEST FOR LOCAL DESIGNATION OF LANDMARK OR LANDMARK SITE
City of Jacksonville Historic Preservation

1. PROPERTY INFORMATION

Historic Name: National Shirt Shops Building

Other Names: _____

FMSF Number: DU21677
(if known)

Designation: (check all applicable)

- | | |
|--|--|
| <input type="checkbox"/> Residential | <input checked="" type="checkbox"/> Commercial |
| <input type="checkbox"/> Institutional | <input type="checkbox"/> Public |
| <input type="checkbox"/> Industrial | <input type="checkbox"/> Archaeologic |
| <input type="checkbox"/> Cemetery | <input type="checkbox"/> Other: _____ |

2. LOCATION

Street name & number: 231 North Laura Street

City or town: Jacksonville Zip Code: 32210

State: FL County: 32210

Real estate number(s): 073696-0000

3. HISTORICAL INFORMATION

Date of construction and additions:
See Application Attached

Significant historical associations:
See Application Attached

Original use:
See Application Attached

Present use:
See Application Attached

Physical description (basic design, construction and conditions):
See Application Attached

4. STATEMENT OF SIGNIFICANCE

The following is a list of the cultural, historical, architectural, or archaeological significance with reference to all applicable local designation criteria outlined in section 307.104(f), of the Jacksonville Ordinance Code.

Mark "x" in any applicable boxes for the criteria to qualify for a landmark, using the space to the right to specify how it is applicable. If more space is needed please use a continuation sheet and write the name of the potential landmark on each sheet.

- ☒ Its value as a significant reminder of the cultural, historical, architectural, or archaeological heritage of the city, state, or nation

See Application Attached

- ☒ Its location is the site of a significant local, state, or national event.

See Application Attached

- ☐ It is identified with a person or persons who significantly contributed to the development of the city, state, or nation

- ☐ It is identified as the work of a master builder, designer, or architect, whose individual work has influenced the development of the city, state, or nation.

- ☒ Its value as a building is recognized for the quality of its architecture, and it retains sufficient elements showing its architectural significance.

See Application Attached

- ☐ It has distinguishing characteristics of an architectural style valuable for the study of a period, method of construction, or use of indigenous materials

- ☒ Its suitability for preservation or restoration

See Application Attached

5. REQUIRED ATTACHMENTS

- ☒ A minimum of five (5) labeled (with location and description) photographs of the site
- ☒ Area map showing property location
- ☒ Any available historic and or existing drawings such as elevations, floor plans, diagrams, etc.
- ☒ Legal Description

6. SPONSORSHIP STATEMENT

I am aware of the proposal for designation of the subject property or properties listed above as a City of Jacksonville landmark or landmark site and am aware of the procedures for review of the proposal by the Jacksonville Historic Preservation Commission and the Jacksonville City Council. I understand that I will be notified of the date and place of any public meetings at which the proposal will be considered by the Jacksonville Historic Preservation Commission and the City Council. I am also aware that if designated, any construction activities affecting the subject properties including alterations, new construction, demolition and relocation, will require a consistency review through an application for a Certification of Appropriateness. If the proposed designation is denied, I am aware that I must wait one year to re-apply.

Signature of property owner: Carmen Godwin Digitally signed by Carmen Godwin Date: 2025.04.21 08:20:25 -07'00' Date: 3-15-25
Printed name: Carmen Godwin Phone number: (904) 708-0825

Email: carmengodwin@gmail.com

Address: 4834 Malpas Lane City: Jacksonville Zip: 32210

Signature of applicant (if different from property owner): _____ Date: _____
(representatives need to provide a signed and notarized letter from the property owner(s) identifying them as their official agent.)

Printed name: _____ Phone number: ()

Email: _____

Address: _____ City: _____ Zip: _____

Sponsorship other than the owner

Consistent with Jacksonville Ordinance Code 307.104(a), the proposal for designation as a City of Jacksonville landmark or landmark site is being sponsored by: _____

Signature of sponsor: _____ Title: _____ Date: _____

Printed name: _____ Phone number: () Email: _____

**POSITION AFFIDAVIT
FOR LOCAL DESIGNATION OF LANDMARK OR LANDMARK SITE**

City of Jacksonville Historic Preservation

PROPERTY INFORMATION

Historic Name: National Shirt Shop Other Names: _____
Street Name and Number: 231 North Laura Street
Zip Code: 32210 City: Jacksonville State: FL
Real Estate Number(s): _____

DECLARATION OF SUPPORT OR OPPOSITION

In accordance with Section 307.104(j)(1-7), Ordinance Code, the Commission shall determine whether, based upon the evidence, the nominated landmark, or landmark site, does or does not meet the criteria for designation. In the event the owner of the property expresses an objection regarding local landmark status, at least four of the seven criteria must be met. If the owner of the subject property does not express such objection, only two of the seven criteria must be met.



I do not oppose my property being nominated for local landmark status.



I hereby object to my property being nominated for local landmark status.

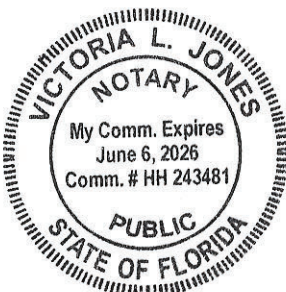
Signature of Property Owner: Carmen Godwin

Printed Name of Property Owner: Carmen Godwin

Date: 3-15-25

**STATE OF FLORIDA
COUNTY OF DUVAL**

Sworn to and subscribed and acknowledged before me by means of [☒] physical presence or [☐] online notarization, this 30 day of April 2025, by Carmen Godwin, who is personally known to me or who has produced FL DL as identification and who took an oath.



Victoria Jones
(Signature of NOTARY PUBLIC)

Victoria Jones
(Printed name of NOTARY PUBLIC)

State of Florida at Large. 4/6/26
My commission expires:

JHPC LANDMARK DESIGNATION APPLICATION



NATIONAL SHIRT SHOPS BUILDING
231 North Laura Street
Jacksonville, FL 32210

Appendix A

Continuation Sheets for Section 3 & 4

Section 3: Historical Information

The National Shirt Shops Building located at 231 North Laura Street was constructed in 1957 and is a contributing structure to the City of Jacksonville's Downtown Historic District. National Shirt Shops was a men's retailer that began as a line of shirts in 1911 and expanded to a full-scale storefront with many locations nationwide by the 1940s. In Florida alone, there were at least nine National Shirt Shop locations. The building represents midcentury streamlined commercial design with a focus on modern minimalism and the use of new materials, such as glazed brick, terrazzo, and plate glass. Commercial building design of the mid-20th century expressed a period of American optimism and economic prosperity. Sleek new materials and structural systems represented post-war America's unwavering belief in new technology and materials; glassy open storefronts showcased the 20th century's more open relationship between consumers and products; modern designs promised customers up-to-date goods and service within. The structure holds significance as a Landmark Property under multiple criteria.

National Shirt Shops first operated out of a smaller storefront on this same site in 1949, formerly leased by Mark's Women's Clothing. The former building on this site was a three-story structure that had two storefronts with apartments on the upper floors. The success of the business at this location led to the company purchasing the property and demolishing the former structure in favor of constructing a new building in 1957 on this site. This new store was dedicated solely to The National Shirt Shops and was architecturally modeled after the company's other new modern stores throughout the southeast (see photo examples). This store also has a basement and an upper story and includes many traditional small commercial mid-century modern design elements. National Shirt Shops operated out of this building until around 1980.

The building is a two-story, rectangular masonry vernacular structure with a glazed brick façade, terrazzo decorative knee wall and entrance flooring, and a flat roof. It was originally constructed as a commercial storefront on the first floor with a recessed doorway centered between two glass storefront displays on each side. The "National Shirt Shops" emblem is still present on the foyer floor of the main entrance of the structure, which was a common feature of mid-century commercial design as well as of the National Shirt Shops designed during this period. Notable features include a flat roof, glazed brick, restraint in

overall detailing, terrazzo kickplates and flooring, and a projecting corner signage feature integrated into the architectural design, all common character defining elements to the midcentury modern style. Like many designs of this period, the second floor was either not utilized or was used for storage, which resulted in flat, unadorned surfaces with little fenestration that provided excellent large areas for signage directed at automobile passengers. Besides the storefront alteration, this building has maintained most of its architectural integrity.

DATE OF CONSTRUCTION AND ADDITIONS

- Original Construction date: 1957 (Sanborn Map, 1961)
- Alteration to storefront, date unknown

SIGNIFICANT HISTORICAL ASSOCIATIONS

The National Shirt Shops building holds historical significance in several areas, including its value as a significant reminder of the cultural, historical, and architectural history of Jacksonville and the nation. The building is significant for its role in the growth of downtown commerce as downtown Jacksonville was developing into a financial business district. The building replaced what was considered at the time a three-story outdated mixed-use design with a modern streamlined structure consistent with architecture of this period. Constructed within steps of James Weldon Johnson Park, one of the most prominent corners in Jacksonville's main downtown corridor, the new, modern storefront was designed as a statement to customers that evoked the optimism of a post-war age.

The National Shirt Shops operated out of this building from 1957 through around 1980. The building's use of modern design and materials was used to show the progressive nature of the business and to bring people into the store while they visited the heart of downtown. It is significant for its midcentury architectural style which was duplicated in National Shirt Shops construction throughout the southeast during the 1940s and 1950s. It is one of the few remaining small scale midcentury buildings in downtown Jacksonville and the only one that retains a historic billboard on its rooftop.

The building is also significant for its association with a significant local event. One of the most recognizable photographs taken during Axe Handle Saturday was taken on the sidewalk directly outside of the National Shirt Shops building as fights erupted and people began to seek refuge within Snyder Memorial Church directly across the street as well as within local shops in the center of downtown. The building is also significant as it is recognized for the quality of its architecture, and it retains sufficient elements showing its architectural significance. It is one of the few remaining small scale midcentury buildings in downtown Jacksonville. Further, the building has distinguishing characteristics of an architectural style valuable for the study of a period and method of construction, including

the use of terrazzo floors and knee wall, speckled glazed brick, and the projecting corner signage feature integrated into the architectural design. Finally, it is suitable for preservation.

ORIGINAL USE

Dates: 1957 – c.1980 -- National Shirt Shops Store

Dates: c.1980 – 2003 – Retail, Various

Dates: 2003 – 2020 – Magnificat Café

Dates: 2020 – Present --Vacant

PRESENT USE

Vacant.

Proposed Use: Mixed Use. Proposed Commercial (Restaurant/Retail) first floor and basement and with Residential on the second floor.

PHYSICAL DESCRIPTION

Summary

The National Shirt Stores building was constructed in 1957. It is a two-story, masonry vernacular building with a flat roof constructed of brick and stone. The exterior façade is made from white glazed brick with a speckled finish set in a running bond. The primary façade is situated on North Laura Street and is indicative of mid-20th century design which expressed a period of American optimism with sleek new materials and structural systems such as glassy open storefronts and minimal streamlined designs.

The building is rectangular with the longer walls along the secondary façade on Monroe Street, and abutting 225 N. Laura Street, a mixed-use 3-story vacant structure. The building is 82' in length and 23' in width. The basement has approximately 700 sqft of usable space. The first floor has 1,426 sqft of enclosed space and approximately 450 sqft of open space in front of the modified storefront. The second story is approximately 1,886 sqft and was most likely used for retail storage upon construction. The rooftop is flat and holds a historic billboard sign, the only remaining one in Downtown Jacksonville.

Only two of the four sides of the building are visible from the public street view. The south side of the building abuts 225 N Laura as described above, and the east side or rear of the building abuts 38-44 West Monroe Street, a two-story mid-century mixed-use building with three storefront bays facing Monroe Street. The primary façade is situated on North Laura Street where the original entrance was located. The Monroe Street side of the building has only two window openings on the

second floor and one pedestrian door entrance on the first floor. The white glazed brick has been painted over on this façade with a mural.

The National Shirt Shops Building embodies classic mid-20th century subtle detailing and utilized modern materials for the time. These elements include the white speckled glazed brick, terrazzo kick plates and entrance flooring, and a projecting signage architectural element that spans the corner of the entire second floor to above the roof line.

Setting

Commercial building design of the mid-20th century expressed a period of American optimism and economic prosperity. Sleek new materials and structural systems represented post-war America's unwavering belief in new technology and materials; glassy open storefronts showcased the 20th century's more open relationship between consumers and products; modern designs promised customers up-to-date goods and service within.

231 North Laura Street lies 4.5 blocks north of the St. Johns River and sits on the corner of North Laura and West Monroe Streets, in the center of downtown. It is diagonally across the street from James Weldon Johnson Park, the heart of Jacksonville's downtown. The main façade is on North Laura St and originally had one storefront with a central entrance with two glass store displays to each side of the entrance. Directly across Laura from the entrance is the historic Snyder Memorial Church. The minimalist secondary façade is on Monroe Street and faces the Jacksonville Public Library's Main Branch.

The building is surrounded by other commercial and mixed-use properties along Laura and Monroe Streets. Each building on this block has storefronts that create a unified continuation of a downtown shopping district. The building adjacent to the North (across Monroe Street) is the Jacksonville Main Library (2005) designed by Robert A. M. Stern Architects and to the north of that is the Museum of Contemporary Art houses in the historic Western Union Building. The building directly adjacent to the South on Laura Street is a vacant three-story Marsh & Saxelby mixed use structure (1923). Immediately to the south of that building is Chamblin's Uptown Café and Bookstore (altered), then continuing south is the Elks Building (1926). Directly across N Laura Street, facing 231 N Laura, is the Snyder Memorial Church (c 1902) and immediately south of the church is the 12-story Greenleaf & Crosby Building (1927), a later Marsh & Saxelby design. Diagonally situated across the street is the James Weldon Johnson Park to the north. The east side of this block of N Laura Street displays a series of one to three story buildings,

which invokes the human scale of early 1900s Downtown Jacksonville development.

Exterior: Front Façade

231 North Laura Street is a two-story masonry vernacular structure constructed in 1957 for the National Shirt Shops. The building's primary façade is on North Laura Street where the main commercial entrance and decorative elements are located. There is one recessed storefront on the first floor facing Laura Street and a glazed brick second story with no fenestration. This first floor of this façade has decorative metal fencing enclosing an open space meant for outdoor seating on the first floor. The original storefront was modified by removing the glass display cabinets situated on each side of a central galley walkway that led to the front door. This was replaced with a fixed metal and glass storefront to create an open area. This open area still has the original terrazzo kick panel, recessed display lighting, and the "National Shirt Shops" emblem is still present on the foyer floor of the main entrance.

The surround and approximately three-quarters of the second story are constructed of a speckled white glazed brick. There are no windows on this façade's second story. The brick on the second story terminates into a forty-five-degree angle spanning the corner of the building. This corner projects approximately four feet above the roofline and is constructed of approximately twelve-by-twelve-foot cement tiles that terminate into a small decorative hip roof at the first floor. Large flat surfaces that project above or out from the roofline were common elements in commercial midcentury architecture and were often used to display signage that would attract the automobile passengers.

Another unique element of this façade is the historic rooftop billboard. This billboard is the only one remaining in downtown Jacksonville and is relevant for its relation to advertisers need to address the post-war increase in automobiles and travelers going at higher speeds. These large signs were meant to promote a variety of products to the many people passing through downtown by automobile who could not read smaller traditional storefront signage at higher speeds.

This building embodies many of the architectural characteristics of buildings constructed in Jacksonville and around the United States during the 1940s and 1950s, including that corner projecting signage element incorporated into the architecture, the use of terrazzo flooring and logo placement within the terrazzo at the front entrance, the use of terrazzo kickplates / knee walls, the use of speckled glazed brick, the streamlined façade with little fenestration, and the billboard placement on the rooftop, which can be seen in photographs from the 1960s.

Exterior: Secondary Façade

The secondary façade is on Monroe Street and approximately three quarters of this side includes a metal decorative fencing enclosure in the open seating area on the first floor that terminates into a terrazzo knee wall. Awnings are placed above the metal fencing. The second story also includes a portion of the 45-degree angled corner signage architectural element that projects from the top of the first story spanning to above the roofline.

The second story above the outdoor open area of this façade is speckled white glazed brick with no fenestrations. The remainder of the building has the same brick; however, the brick has been painted over with a mural. There are two 1/1 rectangular windows on the remainder of the second story, and one pedestrian door opening on at the eastern terminus of the building. That door opening begins roughly two feet off of the ground with no stairs or ramp and there is an awning over the door.

Overall, the original design and scale of the building is still evident. The first-floor storefront has been altered. Since only two façades are visible from the street, including the north and west façades, the focus of this physical description is on the North Laura Street and West Monroe Street façades. While it is unknown what the uses were for the upper story, it is believed to have been used as a storeroom, an office and a live/work residence over the years since the building's construction.

Exterior: East and South Façades

The eastern rear side and the south side facades are not visible from the street or public view. These facades have no fenestration and abut 38 Monroe, a two-story mixed use at the rear of the property and 225 N Laura Street, a three-story mixed use on the southern side.

Interior

The description of the interior is included merely to explain the condition. Interior alterations occurred over time. There do not appear to be any remaining historic features or interior store dividers on the first or second floors. However, the "National Shirt Shops" emblem is still present on the foyer floor of the main entrance and is made of Terrazzo, a new popular product utilized in post-war construction (see photo). Any original plaster has been removed and the walls are either brick or drywall. There are two restrooms on the north wall which are not original to the structure. The back of the building houses kitchen equipment, food prep areas, and storage. On the very back of the northeastern wall a staircase descends into a basement, which is approximately 600 sqft. and houses additional restaurant

equipment. A single double door egress is also located at the rear of the northeastern wall.

The configuration of the stairs is not conducive to separating uses to create residential on the second floor as when you enter the pedestrian door, the stair to the basement is on the left and the stair to the second story is on the right. This further solidifies the supposition that the second floor was originally used for offices and may have been an apartment for the business owner at some point in the building's history. The second floor has been partitioned into smaller areas that do not define spaces in any clear way. It is difficult to discern the original layout of the second floor.

Section 4: Statement of Significance

SUMMARY

The National Shirt Shops building, a brick masonry vernacular structure located at 231 North Laura Street, is a contributing structure to the City of Jacksonville's Downtown Historic District. The building represents midcentury minimalism in commercial design with a focus on streamlined design and the use of modern new materials, such as the use of concrete panels, terrazzo knee walls and entrance flooring with an embedded National Shirt Shops logo, glazed brick with little fenestration and a corner angled architectural element for signage that extends above the roofline.

Commercial building design of the mid-20th century expressed a period of American optimism and economic prosperity. Sleek new materials and structural systems represented post-war America's unwavering belief in new technology and materials; glassy open storefronts showcased the 20th century's more open relationship between consumers and products; modern designs promised customers up-to-date goods and service within.

231 North Laura Street was constructed in 1957 for the National Shirt Shops company with a basement, first story and second story. The building holds historical significance in several areas, including its value as a significant reminder of the cultural, historical, and architectural history of Jacksonville and the nation. The building is significant for its role in the growth of downtown commerce as downtown Jacksonville was developing into a financial business district. The National Shirt Shops constructed this building to as an expression of the store's new modern appearance. Constructed within steps of James Weldon Johnson Park, the store served as a National Shirt Shops until the 1980s, then houses multiple other businesses including the last business, Magnificat Café, which closed in 2020 and the structure has been vacant since that time.

This building also holds significance for its midcentury architectural style which was duplicated in National Shirt Store construction throughout the southeast during the 1940s and 1950s. It is one of the few remaining small scale midcentury buildings in downtown Jacksonville and the only one that retains a historic billboard on its rooftop. The building has distinguishing characteristics of this architectural style valuable for the study of the period and method of construction, including the use of terrazzo floors and kickplates, speckled glazed brick, minimalist streamlined design, and projecting architectural elements. Finally, the structure is suitable for preservation.

GENERAL HISTORIC CONTEXT

Summary:

Today, Downtown Jacksonville is defined on the north side of the St. Johns River to include not only the central business district, but also the older neighborhoods of East Jacksonville, LaVilla, and Brooklyn that did not collectively become part of the City until 1887. However, this historic context is focused on the development of that part of Downtown Jacksonville that constituted the city limits before the 1887 expansion. Including the original 1822 plat as well as the expansions of 1832 and 1842. This area is generally defined by Hogans Creek to the east, State Street to the north, Clay Street to the west, and the St. Johns River to the south. This overview on the historical context of Downtown Jacksonville is broken into major periods that include the Colonial (1562 – 1821); the Territorial and Antebellum (1821 – 1860); the Civil War to the Twentieth Century; and the First Three Quarters of the Twentieth Century.

Colonial Period:

(First & Second Spanish Period & British Period)

During their first occupation of Florida (1565 – 1763), the Spanish colonial government at St. Augustine made very few attempts to settle and exploit the vast territories of East Florida. Except for a chain of Franciscan missions along the Atlantic Coast and west to Apalachee, as well as a few large land grants for cattle ranching, most of their activities centered around St. Augustine which served primarily as a military outpost protecting the Spanish fleet. Eleven land grants for cattle ranching were made along the St. Johns River. Being located on the narrowest point of the St. Johns River, the area later developed as Jacksonville was known by Native Americans as Wacca Pilatka, meaning the place of the cows crossing, later translated by the British as Cowford.

During their occupation of Florida (1763 – 1789), the British started a policy of granting large parcels of land for the purpose of developing plantations and settlements. Although a total of 114 land grants representing 1.4 million acres had been awarded by 1776, only sixteen were settled as exemplified by the 2,000-acre grant made in 1765 to Marquis of Hastings that included the present area of Downtown Jacksonville. A significant development made in East Florida by the British was the completion of the Kings Road that connected New Smyrna south of St. Augustine with the Georgia Colony. Cutting through the southeast part of present-day Duval County, the Kings Road crossed the St. Johns River at Cowford. A small settlement, called St. Nicholas, developed during this period on the south side of the river at Cowford to serve travelers along the Kings Road.

With the transfer of Florida back to Spain in 1784, the Spanish government continued the liberal land policy started by the British. Contrary to official policy elsewhere in the Spanish

Empire, the crown allowed non-Catholics to settle in Florida to populate and develop the vast territories of East and West Florida. In 1791, a grant for 451 acres in the present-day Downtown area was made to Robert Pritchard who lived on the property for a short period. 200 acres of Pritchard's grant were later awarded to Maria Taylor in 1816 to compensate for military service provided to the Spanish government by her late husband. Most of Taylor's property later came under the ownership of Isaiah Hart who moved to the area in 1821 from St. Marys, Georgia. Also, in 1816, a fifty-acre land grant east of present-day Market Street was issued to Juan Le Maestro who sold the property to John Brady in 1817. Another early land grants recipient was Daniel Hogans who received in 1817 a concession of 255 acres located east of Hogans Creek (East Jacksonville). The LaVilla area west of Downtown was the result of a 350-acre land grant made to John Jones in 1801 and re-ceded in 1804 to Isaac Hendricks.

Territorial and Antebellum Period:

To remove the threat of Spanish Florida becoming a haven for run-away slaves and to satisfy the growing desire for new lands, the United States Government acquired Florida by the Adams - Onis Treaty in 1819. By the time Florida was finally transferred to the United States in 1821, a small settlement had developed along the Kings Road on the north side of the St. Johns River. Prominent landowner, Isaiah Hart led the successful effort to have a town planned. Composed of twenty square blocks, the town was named in honor of popular military leader, Andrew Jackson.

The original north-south streets surveyed by Daniel H. Miller included Newnan Street, Market Street, Liberty Street, and Washington Street with the east - west streets being Bay Street, Forsyth Street, Adams Street, Monroe Street, and Duval Street. At the time, Jacksonville had a store, a hotel, and a tavern to serve the travelers crossing the St. Johns River in John Brady's ferry located at the foot of Liberty Street. On August 12, 1822, Duval County was created by the legislative council with Jacksonville serving as the county seat. In 1832, with a population of about 100, Jacksonville became the ninth Florida town to incorporate.

The town's population grew as its economy strengthened with the processing and shipping of lumber and agricultural products from the interior. However, the increased settlement of the territory caused tension and friction with the Seminole Indians that resulted in warfare between 1835 and 1842. Although trade was disrupted, Jacksonville did benefit from serving as a staging area for Federal troops, as well as being a safe haven for planters and settlers displaced by the conflicts in the interior. To provide a sanctuary against attacks, a log blockhouse was constructed in 1836 at the northeast corner of Ocean Street and East Monroe Street.

With the end of the Seminole Wars, the territory attracted additional settlers and land speculators resulting in Jacksonville's continued population growth. Surviving the financial panic of 1836, the city experienced a 67 percent increase in population between 1842 (450) and 1847 (750). By the time the Florida Territory was admitted to the Union as a slave state in 1845, Jacksonville's importance in the region was well established by its port which was the major center for shipping cotton and lumber from the interior.

During the 1850s, Jacksonville suffered numerous calamities, including scarlet fever, smallpox epidemics, and Yellow Fever Quarantine, as well as a fire in 1854 that destroyed seventy buildings causing an estimated \$300,000 in property damage. Nevertheless, the city continued to grow and by the end of the decade had twelve steam driven sawmills producing 40 million board feet of lumber per year, a tannery, bakery, two foundries and machine shops, as well as five restaurants, two large hotels, and numerous boarding houses.

Recognized as the founder of Jacksonville, Isaiah D. Hart owned much of the property in Downtown Jacksonville particularly to the north and west of the original 1822 plat. In developing what is now called Hart's Map of Jacksonville (1859), he set aside a "blackjack ridge" for use as a public square (block 39). Envisioning this block as a marketplace and general meeting area, Hart platted smaller half lots facing the park for new shops and businesses. Executors of Hart's estate donated the block to the City in January of 1866 for a consideration of \$10.00. However, interest in improving the square, at that time called the City Park, did not develop until 1869 when the St. James Hotel was built immediately to the north. In 1859, Jacksonville's long association with the railroad industry began with the completion of the Florida Atlantic & Gulf Central Railroad to Alligator (Lake City). By 1860, the city was the third largest in Florida with a population of 2,118.

Civil War to Twentieth Century: (Reconstruction & Spanish American War)

During the Civil War, Jacksonville was occupied four times by Union forces, resulting in the city being for the most part abandoned and significantly destroyed. Much of the military action near Jacksonville occurred in the west part of LaVilla that was connected to the interior of the state by the Old Plank Road, Alligator Road, and the railroad. During the final occupation in 1864 following the Battle of Olustee, the Federal troops constructed an earthen defensive wall with redoubts around Jacksonville connecting with McCoys Creek and Hogans Creek. Following the war, the west part of LaVilla continued to be occupied by Federal troops, many of whom were freedmen that stayed in the area after being mustered out of military service.

Like the rest of Florida, Jacksonville was slow to recover from the war that had drained manpower while leaving the economy in shambles. In addition, the city became home to numerous freedmen attracted to urban areas such as Jacksonville because of potential jobs and housing, as well as the protection and welfare services provided by the Freedmen's Bureau. By the end of the 1860s Jacksonville also began to draw new settlers and visitors who were attracted by Florida's subtropical climate. With its superior rail and steamship connections, the city soon became a popular tourist destination. Billed as the "The Winter City in a Summer Land", the number of winter visitors in the city grew from 14,000 in 1870 to 100,000 by 1885. The thriving city by 1886 featured numerous churches and a synagogue, a high school, a hospital, a theatre, and a library association, as well as numerous banks, shops, railroads, wharves, and elegant hotels, such as the St. James and the Windsor fronting the city park (James Weldon Johnson Park) along with the Everett (Grand National) and Carleton that faced Bay Street.

As the city grew following the Civil War, new towns and neighborhoods developed around the Downtown area, such as LaVilla, Oakland, East Jacksonville, Fairfield, Springfield, Hansontown, Riverside, and Brooklyn. In 1887, these towns and unincorporated neighborhoods were annexed into the city limits, thereby doubling the land area while increasing Jacksonville's population from 11,545 to 21,589. Jacksonville's popularity as a winter tourist destination had begun to decline with the extension of the railroad further south along Florida's Atlantic coast, as well as to the Tampa Bay area, which resulted in the development of new resorts. While celebrating the annual Sub-Tropical Exhibition at Waterworks Park, Jacksonville suffered from a major yellow fever epidemic in the summer of 1888 that virtually shut the city down and resulted in 430 deaths by the end of the epidemic in November of that year.

Another blow to the local economy occurred as a result of a severe freeze during the winter of 1894 – 1895 that destroyed the vast citrus groves located along the St. Johns River. With the shift of the citrus production further south after 1895, Jacksonville lost its prosperous citrus shipping industry. However, during the 1890s, lumber, naval stores, and cigar manufacturing played an important role in compensating for the loss of tourism and citrus trade. By 1895, Jacksonville was one of the first cities in the nation to build and maintain a municipal electric power plant. Also, the first electric trolley service connecting downtown with the adjacent neighborhoods started in that same year. With the outbreak of the Spanish American War in 1898, the city received an additional economic boost when it played host to over 29,000 soldiers assigned to Camp Cuba Libre, located in the east part of Springfield.

First Half of the Twentieth Century (The Great Fire, Jacksonville Renaissance, and Great Florida Land Boom)

1901 Fire & The Jacksonville Renaissance (1901-1919)

By 1900, Jacksonville was the largest city in Florida in terms of population, which had reached 28,430. The Great Fire of 1901 was a major event that defined the architectural character of the city during the first half of the twentieth century. Starting in the LaVilla area west of Downtown at noon on May 3, 1901, the fire destroyed over 2,300 buildings within 148 city blocks in just an eight-hour period. Although only seven people lost their lives because of the fire, 8,677 people were left homeless and the city experienced an estimated \$15 million in property damage. Destroying the oldest and most densely populated area of the city, the fire consumed twenty-three churches, ten hotels including the grand St James and Windsor, as well as almost all public buildings, such as the courthouse and city hall.

The destruction caused by the 1901 fire ushered in a new era of growth in Downtown Jacksonville referred to as the Jacksonville Renaissance (1901 – 1920). The business opportunities caused by the fire had attracted numerous architects, builders, and investors from different parts of the country. New construction in the Downtown area began to reflect a variety of architectural styles popular during the first quarter of the twentieth century such as the traditional Colonial, Neoclassical, and Gothic Revivals interspersed with the more modernistic designs of the Prairie School and the Chicago school of commercial architecture. These latter styles were particularly evident in the work of noted architect, Henry John Klutho (1873 – 1964) who came to Jacksonville after reading about the 1901 fire in the New York Times.

The buildings constructed in Downtown Jacksonville during the Jacksonville Renaissance also reflected new construction techniques and materials such as steel and reinforced concrete structural systems that accommodated the first true skyscrapers in Florida. Some of these pioneer high rise buildings, all constructed along or near West Forsyth Street during the Jacksonville Renaissance, included the Bisbee Building (1908 – 1909), the Florida Life Building (1911 – 1912), the Atlantic National Bank Building (1908 – 1909), and the Heard National Bank Building (1911 – 1913) demolished in 1981.

In addition, many of the major denominations built new sanctuaries in or near Downtown Jacksonville during this period immediately following the 1901 fire including Mount Zion A.M.E. Church (1901 – 1905), First Baptist Church (1903), Immaculate Conception Catholic Church (1907 – 1910), First Methodist Church (1902), St. John's Episcopal Cathedral (1903 – 1906), Bethel Baptist Institutional Church (1904), Snyder Memorial Methodist Church (1902 – 1903), and First Presbyterian Church (1901 – 1902). The fire also resulted in the construction of new governmental buildings including a city hall, county courthouse, and jail. A new Central Grammar School, Duval High School and Stanton High School were rebuilt as well. Soon, downtown streets were lined with new stores, theaters,

banks, office buildings, and residences. Other noted downtown buildings from this period included the Dyal-Upchurch Building (1901 – 1902), the St. James Building (1911 – 1912), the Old Florida National Bank (1902 & 1906), the Florida Life Building (1911 – 1912), the Old Y.M.C.A. Building (1908 – 1909), Rhodes-Futch-Collins Building (1913 – 1914), and the Morocco Temple (1910 – 1911).

There was also significant residential construction, both single and multi-family, as people returned to live downtown. During the first half of the 20th century, most of the residences in the core of downtown were removed or altered to accommodate the demand for commercial and office buildings. The second period of significant new construction in Downtown Jacksonville following the 1901 fire coincided with the Great Florida Land Boom; a period of frenzied speculative development during the 1920's that forever changed the landscape of Florida.

The Great Florida Land Boom (1920 – 1928)

Jacksonville's reputation as the "Gateway to Florida" was fully developed during the early years of the 1920s. The completion of the grandiose Jacksonville Union Terminal on Lee Street in 1919 was a sign of the importance of Jacksonville as a major rail center. Another significant development in the transportation infrastructure of the city occurred in 1921 when the first automobile bridge across the St. Johns River was opened to traffic.

Throughout its history Florida experienced cyclical periods of boom and bust. The boom periods were usually sparked by the exploitation of natural resources or the potential of raising agricultural products such as cotton, sugar or citrus. Invariably, the booms were countered with busts brought on by the depletion of the resource, hurricanes, epidemics, war, or financial panic. The mid-1920s boom, however, was a different experience for Florida, and ushered in a new era of speculative enterprise in the United States. At no other time prior to the event did the entire nation participate as wholeheartedly in the exploitation of a single state.

A combination of factors contributed to what became known as "Florida Fever". Reforms in labor practices increased vacation time for a broad section of America's middle class. There was an increasing desire during the period to discover new perspectives and break away from the drab urban industrial sectors of the Northeast and Midwest. Those factors, coupled with the introduction of affordable automobiles and extensions of the nation's railroads, provided greater mobility to more people than ever before. Travelers were enticed to visit Florida by promotional literature which flooded Northern markets, extolling the virtue of Florida's healthful climate and cheap lands.

Although South Florida received the lion's share of development, virtually every section of the state experienced significant growth during the boom. Jacksonville became a primary departure point for visitors entering Florida. In early 1925, some 20-25 trains were arriving at the city each day. The Chamber of Commerce reported that over 150,000 automobiles had passed over the St. Johns River Bridge (Acosta Bridge) during the spring of 1925. In July of that year alone, building permits issued totaled \$1,177,383, ranking Jacksonville sixth in the state in new construction behind the major cities of the southern peninsula.

Just as Henry J. Klutho dominated building design during the Jacksonville Renaissance, the firm of Marsh & Saxelbye was the primary force in the architecture of the downtown area in the 1920s. William Mulford Marsh (1889-1946), who was raised in Jacksonville, began his career as a construction laborer for the O.P. Woodcock Company. After studying architecture through correspondence courses, Marsh established a practice in 1912 by designing several Prairie School Style buildings. Harold Frederick Saxelbye (1885-1964), a native of England and member of the Royal Institute of British Architects, moved to Jacksonville in 1913.

In 1919, Marsh and Saxelbye formed a partnership, which lasted nearly four decades. During the first years of the boom, Marsh & Saxelbye undertook several small commercial commissions in the downtown area, including the Palmer Building at 315-319 West Forsyth Street and the Hamby Building (1925) at 325 West Forsyth Street. Marsh and Saxelbye won its most eminent distinction through its designs for larger downtown structures. The Atlantic National Bank Annex at 118 West Adams Street was one of the firm's first skyscrapers. Erected between 1925 and 1926, the design of the annex compliments that of the main bank building, which was completed in 1909. The firm's greatest commercial commission during the boom was their 1927 design of the Greenleaf & Crosby Building at 200 North Laura Street, designed for the Greenleaf & Crosby Company, jewelers.

The year 1926 marked the zenith of the building boom in Jacksonville. Expenditures on new construction hit an all-time high of \$21,900,000 dollars, far exceeding the 1925 total of \$14,760,000. In the downtown area no less than five skyscrapers were under construction, including the Barnett National Bank at 112 West Adams Street, the Lynch Building at 9-13 East Forsyth Street, the George Washington Hotel (demolished), the Carling Hotel at 33 West Adams Street (NR 1991), and the Atlantic National Bank Annex. Of the surviving buildings, the eighteen story Barnett National Bank Building and the seventeen story Lynch Building were the tallest. Stimulated by the Florida Land Boom, construction of these buildings also reflected Jacksonville's role as Florida's dominant commercial and financial center during the first quarter of the century.

Even as the foundations for the skyscrapers of the downtown area were being laid, there were signs that the boom, which many thought would last indefinitely, was in trouble. Overspeculation in real estate throughout Florida had created a financial house of cards. Land changed hands so rapidly that many investors found their properties heavily mortgaged and themselves with little cash. In the fall of 1925, the F.E.C. Railway, overloaded by the vast amount of building materials being shipped to South Florida, declared a freight embargo. Northern newspapers began to run articles about corrupt speculative practices and urged their customers not to be taken in by the promise of easy fortunes through Florida real estate. The final blow came when a devastating hurricane hit South Florida in September 1926, virtually halting development there.

Although the collapse of the land boom was not immediately felt in Jacksonville, there were definite signs by 1927 that the spectacular development experienced during the previous three years could not be sustained. Fewer tourists entered the city that season than any other year since World War I. Building, which reached its boomtime apogee in 1926, fell off to \$13,051,074 in 1927. The following year, building permits totaled only \$7,905,762, marking the continuation of a downward spiral that lasted until 1931 when the low figure of \$1,728,200 was recorded. In addition, whereas the building permit figures of 1926 and 1927 were bolstered by a significant amount of new building activity, those issued in the latter years were primarily for alterations and additions to existing structures.

Florida's financial misfortunes after the collapse of the boom were further exacerbated by the effects of the national Great Depression. Because of the economic instability of the times, few new buildings were added to the downtown area of Jacksonville during the 1930s. The most significant construction project in the area was funded by the federal government, which built the United States Post Office and Courthouse at 310 West Duval Street in 1931.

Building permit activity did significantly increase following the annexation of growing South Jacksonville to the city in 1932. During the 1930's, only a few significant new buildings were added to the downtown area. The two most significant being the United States Post Office and Courthouse at 310 West Duval Street (1932 – 1933), and the Western Union Company Building at 333 North Laura Street (1930 – 1931). The Great Depression followed by World War II resulted in the built environment of Downtown Jacksonville remaining much as it was at the end of the Florida Land Boom in 1929.

Modern Midcentury Period (1940 – 1970) (Post-Depression and WWII Growth)

From 1940 to 1970, Jacksonville transitioned from a mid-size city to a major city, experiencing significant growth and transformation, including the establishment of Naval

Air Station Jacksonville, the Civil Rights Movement, and the consolidation of city and county governments. Further, Jacksonville experienced substantial population growth, increasing from 173,065 in 1940 to 204,517 in 1950. By 1970, the population had increased to 528,865, partially due to the creation of a consolidated government.

A significant part of Jacksonville's growth in the 20th century came from the presence of navy bases in the region. October 15, 1940, Naval Air Station Jacksonville became the first navy installation in the city. This base was a major training center during World War II, with over 20,000 pilots and aircrewmembers being trained there. In June 1941, land in the westernmost side of Duval County was earmarked for a second naval air facility, NAS Cecil Field. December 1942 saw the addition of a third naval installation to Jacksonville: Naval Station Mayport at the mouth of the St. Johns River. The naval bases became a key training ground in the 1950s and 1960s and as such, the population of the city rose dramatically. More than half of the residents in Jacksonville had some tie to the naval base by the 1970s.

Following World War II, Downtown continued to serve as the financial, commercial, and social heart of the city. Residential uses were slowly becoming less of a component of Downtown, as old boarding homes were demolished in place of new modern commercial and office buildings. Buildings like the National Shirt Shops at 231 N Laura Street and the mixed use commercial structure at 38-44 West Monroe Street were not only architectural symbols of modern design but were also a symbol of downtown Jacksonville's growth and prosperity. A variety of offices and businesses thrived well during this time period. During the 1940s Jacksonville also saw growth in the areas of leisure and entertainment. Jacksonville began hosting the Annual Gator Bowl Football Games in 1946 which had a huge tourism draw to downtown. Hanna Park was developed in 1947, providing a recreational space for the city's residents. In 1949, WJXT began broadcasting local news and entertainment programming, marking the beginning of television in Jacksonville.

By the 1950s, modernist design principles would permeate throughout the United States, transforming the rapidly growing State of Florida. During this period, local architects Robert C. Broward, Taylor Hardwick and William Morgan adapted a range of design principles, including International style, Brutalism, Futurism and Organicism, all applied with an American interpretation generally referred to today as Mid-century modern design. The architecture firms of Reynolds, Smith & Hills (RS&H) and Kemp, Bunch & Jackson (KBJ) also contributed a number of important works to the city's modern architectural movement. In particular, KBJ has designed more buildings in the contemporary skyline of Jacksonville than any other architectural firm. The National Shirt Shops building located at 231 N Laura Street is one small-scale example of the modernist design principles permeating the

United States as it exemplifies understated, streamlined design constructed with modern building materials.

In the 1950s and 1960s, Jacksonville's Downtown entered its greatest period of growth and redevelopment since the building renaissance following the Great Fire of 1901. Under the leadership of Haydon Burns, a five-term mayor and later Governor of Florida, the City launched perhaps its most extensive civic improvement program. This initiative to improve downtown started in 1955 when Mayor Burns used four million dollars in Parking Lot Certified Bonds to clean-up the north bank by acquiring and removing old docks and warehouses to accommodate a new bulkhead.

This growth created the need to manage traffic flow and mounting transportation needs, leading to the construction of the Mathews Bridge which opened in 1953 to facilitate additional growth of suburban areas and their connection to the city's downtown. By 1955, The Jacksonville Expressway Authority organized for the purpose of designing and funding a new highway system that would enhance traffic flow between downtown and the growing suburbs, managing the city's growing transportation needs. And by 1967, the city had constructed the Hart Bridge, further improving transportation infrastructure. These new connections to other parts of the county created a situation where that the core city began having more competition from suburban shopping centers and commercial strips.

"Jacksonville's Decade of Progress" continued with the passage in 1958 of a thirty million-bond issue, financed through revenue certificates that funded the construction of a new city hall, courthouse, coliseum, and civic auditorium (1962), as well as the Buckman Sewage Treatment Plant. These new public amenities, along with the new Wolfson Baseball Park, expanded Gator Bowl, and new correctional facilities, were capped by the 1962 bond issue that funded the new main library, the south bank park and marina, as well as the parking lot and riverfront boulevard behind the new city hall and courthouse. In 1965, prominent Jacksonville architect Taylor Hardwick completed a midcentury masterpiece design of the Haydon Burns Library at the cost of \$3.7 million.

The other half of the "Jacksonville Story" was the significant amount of private development stimulated by these major municipal investments in Downtown Jacksonville. In 1953, the Florida Legislature passed the Regional Home Office Law that provided attractive tax benefits to out-of-state insurance companies that relocated to Florida. As a result of this legislation, Jacksonville soon became the "Insurance Center of the Southeast" becoming home for the central office of seventeen companies, five regional offices, and headquarters for twenty major general insurance agencies. Starting with the Southeast regional office of Prudential Insurance Company in 1954, other major companies making a presence in the city included Independent Life, Peninsular Life, Gulf Life, Florida Blue

Cross & Blue Shield, and the Afro-American Life Insurance Company. Most of these companies constructed new office buildings in Downtown Jacksonville during the 1950s and 60s and some of these are the most recognizable buildings of Jacksonville's current skyline, including the 19-story One Independent Life Building (1955), designed by KBJ Architects, The 28-story Gulf Life Tower (1966), designed by Welton Becket and KBJ Architects.

Other private investment included the KBJ Architects designed national headquarters of the Atlantic Coast Line Railroad (CSX), a new fifteen story office building completed in 1960. The Grand Lodge of Free and Accepted Masons of Florida completed the midcentury modern design of the Florida Grand Lodge of Masons at 220 North Ocean Street in 1965. The Universal Marion Building (1963) was a mixed-use development designed as a major urban retail center by New York architecture firm Ketchum & Sharp. Architect Abner C. Hopkins designed a new warehouse for Sears & Roebuck in Springfield in 1947 that was constructed in 1948. A new four-story, 260,000 square foot Sears & Roebuck retail store that covered two city blocks was constructed in 1959, along with the 550 room, midcentury modern Robert Meyer Hotel.

This period was also a very troubling time for the city. Issues related to race relations, discredited local schools, political corruption, as well as concerns about air and water quality did much to tarnish the legacy of "Jacksonville's Decade of Progress". During the 1960s, Civil Rights Movement impacted cities across the country, especially those in southern states. Because of its high visibility and patronage, James Weldon Johnson Park and surrounding stores were the site of numerous civil rights demonstrations in the 1960s. Sit-ins began on August 13, 1960 when students asked to be served at the segregated lunch counter at Woolworths, Morrison's Cafeteria and other eateries. They were denied service and kicked, spit at and addressed with racial slurs. This came to a head on "Ax Handle Saturday", August 27, 1960.[61] A group of 200 men gathered in the park armed with baseball bats and ax handles. They attacked the protesters and violence spread throughout downtown, making national news. By 1967, Mary Singleton and Sallye B. Mathis became the first female African Americans elected to the City Council.

A major change to the City occurred in 1968 with the Consolidation of City and County Governments. Through the 1960s Jacksonville, like most other large cities in the US, suffered from the effects of urban sprawl. In an effort to compensate for the loss of population and tax revenue and end waste and corruption, voters elected to consolidate the government of Jacksonville with the government of Duval County. The move was carried out on October 1, 1968, and Hans Tanzler, elected mayor of Jacksonville the year before, became the first mayor of the consolidated government.

Jacksonville became the largest city in Florida and the 13th largest in the United States, and has a greater land area than any other American city outside Alaska.

Jacksonville International Airport (JAX) construction began in 1965, with a dedication ceremony on September 1, 1968, and officially opened for business on October 27, 1968. During this time, the management of the city's airports, including JAX, was given to the Jacksonville Port Authority. Changes in Downtown Jacksonville during the last forty years have erased much of the architectural legacy of this significant period in the City's history. The municipal baseball field, stadium, coliseum, and jail have been replaced by new facilities. The Jacksonville Civic Auditorium, as well as the south bank park and marina (Friendship Park) have been significantly remodeled from their original design. The City Hall Annex, Duval County Courthouse, and Haydon Burns Public Library all still have most of their architectural integrity.

SIGNIFICANCE OF PROPOSED LANDMARK PER SECTION 307.104(f), OF THE JACKSONVILLE ORDINANCE CODE

A. Its value as a significant reminder of the cultural, historical, architectural, or archaeological heritage of the city, state or nation.

A contributing property in the Downtown Jacksonville Historic District, The National Shirt Shops building located at 231 N Laura Street has significance as one of the few remaining examples of the smaller scale commercial buildings constructed in downtown Jacksonville during the mid-century period. From a historical and architectural perspective, the small scale of the building provides a good representation of the human scale of the central downtown business district. It is significant in representing the commercial growth of downtown as a financial center in the 1940s and 1950s and it is also representative of how national retailers viewed Jacksonville's downtown shopping district as a thriving market in which to do business.

National Shirt Shops was a men's retailer that began as a line of shirts in 1911 and expanded to a full-scale storefront with many locations nationwide by the 1940s. In Florida alone, there were at least nine National Shirt Shop locations and in Jacksonville there were at least two locations at any one time, including in the Regency Mall. National Shirt Shops first operated out of a smaller storefront on this same site in 1949. The success of the business at this location led to the company purchasing the property to construct a new building in 1957 on this site. This new store was dedicated solely to The National Shirt Shops and was architecturally modeled after the company's other new modern stores throughout the southeast (see photo examples). This store also has a basement and an upper story and includes many traditional small commercial mid-century modern design elements. National Shirt Shops operated out of this building until around 1980.

In the mid-20th century countless owners of banks, shops, restaurants, theaters, and other commercial businesses built new buildings, or were inspired to update or modernize their existing building. Often these buildings were the first architectural expression of modernism to reach a community. Midcentury modern was about stripping away unnecessary ornament and getting to the essence of a design gesture. This structure replaced a two-story multifamily residential property with a new modern mixed-use structure that incorporate modern materials in its streamlined design. The National Shirt Shops' architecture and construction materials evoke a focus on and pride in craftsmanship and design.

Centrally located retail space downtown in a modern human-scaled building is a reminder of the cultural and historic character of the period. The National Shirt Store is significant as representing the transition of pre-war revival styles and traditional commercial designs to the modern movement in architecture defined by the Art Deco, Art Moderne and Mid-Modern styles. After the war, Downtown continued to serve as the financial, commercial, and social heart of the city. Between 1955 and 1965, Jacksonville's Downtown entered its greatest period of growth and redevelopment since the building renaissance following the Great Fire of 1901. This building is just one example of that growth post war growth.

B. Its location is the site of a significant local, state or national event.

In August 1960, the Jacksonville Youth Council of the National Association for the Advancement of Colored People (NAACP) began organizing sit-ins at Downtown's whites-only lunch counters to peacefully protest the businesses' segregation policies. The council held their first sit-in at Woolworth Department Store on Hogan Street on Saturday, August 13, and continued their protests the following there as well as at Cohen Brothers, W.T. Grant, and other Downtown Jacksonville stores.

For two weeks, the sit-ins occurred largely without incident. Prior to the planned sit-ins for Saturday, August 27, protesters learned that white men were marching around Hemming Park, now James Weldon Johnson Park, brandishing Confederate memorabilia and wooden ax handles. Undaunted, the council voted unanimously to continue the protest.

The demonstrators sat in at the lunch counters of Woolworth and W.T. Grant as planned, but soon a crowd of enraged white people, evidently organized by the Ku Klux Klan, set upon the protesters with ax handles and baseball bats. While they initially focused their attacks on the demonstrators, the mob soon turned its fury on every Black person it came across.

Demonstrators and other African Americans ran for cover as police did nothing to stop the attacks. Bloodied and battered victims of the vicious beatings fled to a nearby stores where they sought refuge. Attacks like those on Griffin continued largely unabated until a black street gang called the Boomerangs started fighting back, at which point the police finally stepped in. In the end, 50 people were injured and 62 were arrested, 48 of whom were African Americans.

The sidewalk outside of the National Shirt Shop at 231 N Laura Street is where Life Magazine's published photo captured the most recognizable photograph taken from

that horrific day. It depicts a Jacksonville police officer holding the arm of a Charles Griffin, drenched in blood after he was attacked on Aug. 27, 1960, during a lunch counter protest by civil rights activists in Jacksonville, Florida.

In its September 12 issue, Life chronicled the events in a brief page long piece that included two photographs of Charlie Griffin during and after he was attacked in the streets. Charlie Griffin was a high school student who was in downtown that day to do his shopping when he was beaten by an angry mob.

C. It is identified with a person or persons who significantly contributed to the development of the city, state or nation.

Unknown

D. It is identified as the work of a master builder, designer, or architect whose individual work has influenced the development of the city, state or nation.

Unknown

E. Its value as a building is recognized for the quality of its architecture, and it retains sufficient elements showing its architectural significance.

In the mid-20th century countless owners of banks, shops, restaurants, theaters, and other commercial businesses built new buildings, which were often the first architectural expression of modernism to reach a community. These commercial buildings utilized a variety of new materials and were a way for businesses to proclaim their modernity.

Midcentury modern was about stripping away unnecessary ornamentation and getting to the essence of a design gesture. Architects and designers used abstract, yet calculated angles and planes, sharp corners with curving lines, expansive smooth surfaces, contrasting textures, and lots of new materials like glazed plate glass, concrete, polished stone, colored bricks, finished aluminum, stainless steel, and more. Improved manufacturing capabilities made these materials not just accessible, but affordable and cost-effective.

In the mid-century, plate glass windows and recessed entries were common and provided room for additional merchandise display, bringing the inside out to the street for passersby to view. Further, recessed lighting was utilized in display windows to offset the glare from sunlight and to provide night exposure. Neon signage was popular as were projecting signs mounted above the sidewalk and perpendicular to the building

facade that were usually suspended from a decorative bracket. Terrazzo flooring began to be used downtown in the first decades of the 20th century as well.

The design of 231 N Laura Street is indicative of this modern, streamlined design style of the 1940s and 1950s. The primary or west elevation of the National Shirt Shops has a sharp, clear, and unadorned exterior, a common trait of Mid-Modern buildings. The building was designed and constructed during a period when materials and craftsmanship were less expensive but higher quality. For example, the structure was constructed with a speckled white glazed brick, with terrazzo knee walls and lobby entrance flooring with the National Shirt Shops emblem crafted within the design. Terrazzo floors are extremely durable and were chosen for the aesthetics value and are not commonly used in today's construction due their application being labor intensive and costly to install. All these features are characteristic of the early smaller-scale commercial architectural of the midcentury.

The dominate feature of this elevation is a corner signage area constructed of approximately 12'x12' blocks integrated into the architecture that spans the entirety of the second story and projects above the roofline. Monumental signs were common in Mid-century Modern architecture as elements that are integrated into the buildings. Commonly known as "high-flyers," these signs are not stand-alone structures, but rather key architectural elements within the composition of a building or a facade. As upper floors often went unused the whole facade sometimes became an advertising "billboard" for the store. Large signage like that on the National Shirt Shops Building proclaimed the name and was easily readable by a new fast-moving, driving customer-base.

Signs with individually-mounted lettering are also typical of the mid-century modern style. These signs could also be illuminated with neon mounted on top of or behind the letters. National Shirt Shops used individually-mounted lettering in its signage as well as neon signage, blade signage, as well as a rooftop billboard. This billboard is the only one remaining in downtown Jacksonville and is relevant for its relation to advertisers need to address the post-war increase in automobiles and travelers going at higher speeds. These large signs were meant to promote a variety of products to the many people passing through downtown by automobile who could not read smaller traditional storefront signage at higher speeds.

The National Shirt Shops Buidling is one of the few remaining small-scale midcenturies streamlined buildings in downtown Jacksonville. It retains many of the original elements that highlight its architectural significance of the period.

F. It has distinguishing characteristics of an architectural style valuable for the study of a period, method of construction, or use of indigenous materials.

Unknown

G. Its suitability for preservation or restoration.

The National Shirt Shops is well suited for preservation and rehabilitation. The structure and the building envelop remain sound. The structure maintains many of its original character defining architectural features. The size of the building and the interior configuration provide the opportunity for a mixed-use adaptive reuse project, with restaurant on the first floor and residential uses added to the second floor uses. The building is already listed as a contributing building to the Downtown Jacksonville Historic District. Landmarking the property will ensure review at the local level and that the scope of work meets the Secretary of the Interior's Standards for rehabilitation.

231 N Laura Street is modern streamlined building set in a prominent location in the center of downtown. It is located across Laura Street from the historic Snyder Memorial Church, diagonal to James Weldon Johnson Park, and directly across Monroe from the Main Library. This is arguably one of the most important corners left to renovate and adaptively reuse in the city's urban core. The building is vacant and uninhabitable and needs restoration. The exterior facade is suitable for restoration and the front façade is in relatively good shape while the interior façade will require significant rehabilitation, remediation, and code compliance.

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Appendix B

Required Attachments

PHOTOGRAPHS



Photo 1: Front Façade Facing East on Laura Street

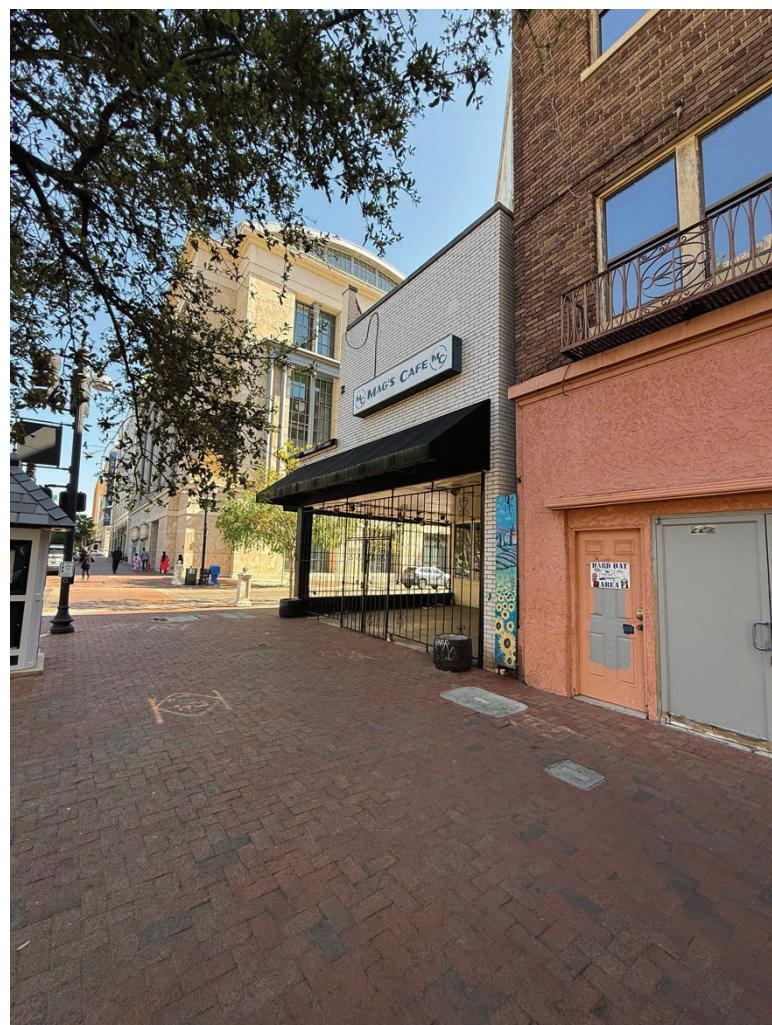


Photo 2: Front Façade Facing North on Laura Street.
Monroe Streets



Photo 3: Corner Façade Facing Southeast on the corner of Laura and Monroe Streets



Photo 4: Corner Façade Facing Southeast on the corner of Laura And Monroe Streets



Photo 5: Corner Façade Facing Southeast Closeup



Photo 6: Historic Billboard



Photo 7: North Façade Facing East
Closeup



Photo 8: Historic Display Case Lighting



Photo 9: National Shirt Shops Coast to Coast Logo Custom Terrazzo Flooring at Storefront Entrance



Photo 10: White Speckled Glazed Brick Closeup



Photo 11: Terrazzo Kneewall



Photo 12: Corner Façade Facing Southeast

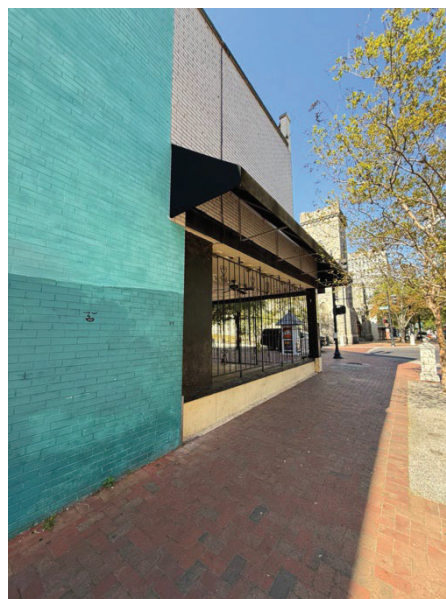


Photo 13: North Façade Facing West

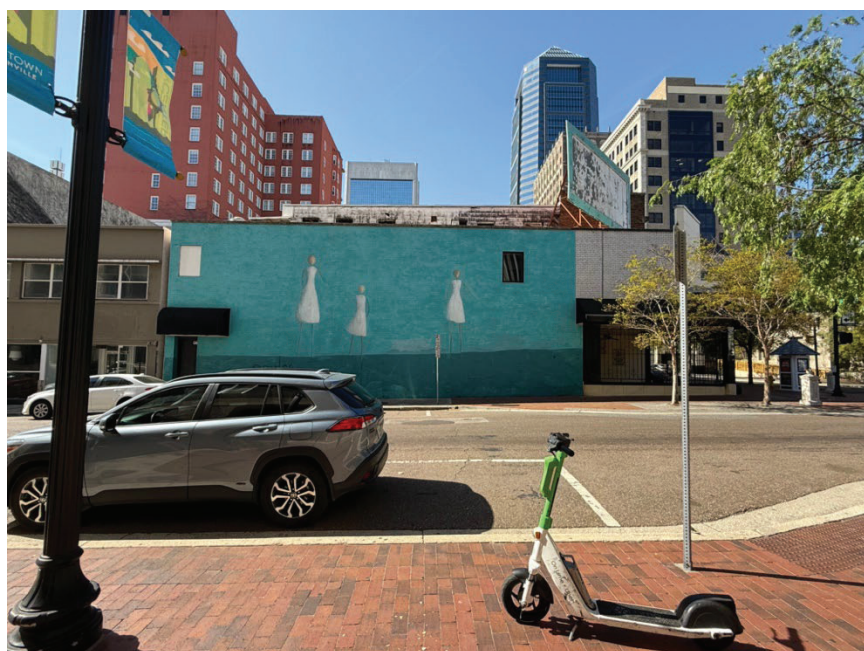


Photo 14: North Façade Facing South on Monroe



Photo 15: North Façade Facing Southwest



Photo 16: Person Door North Façade

HISTORIC PHOTOGRAPHS

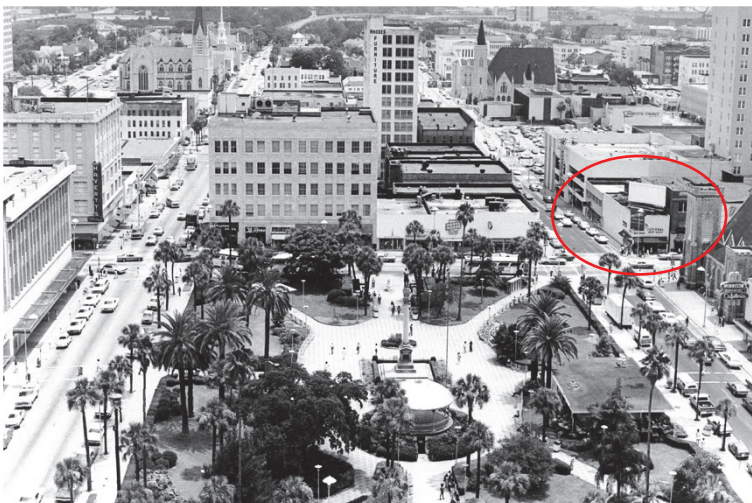
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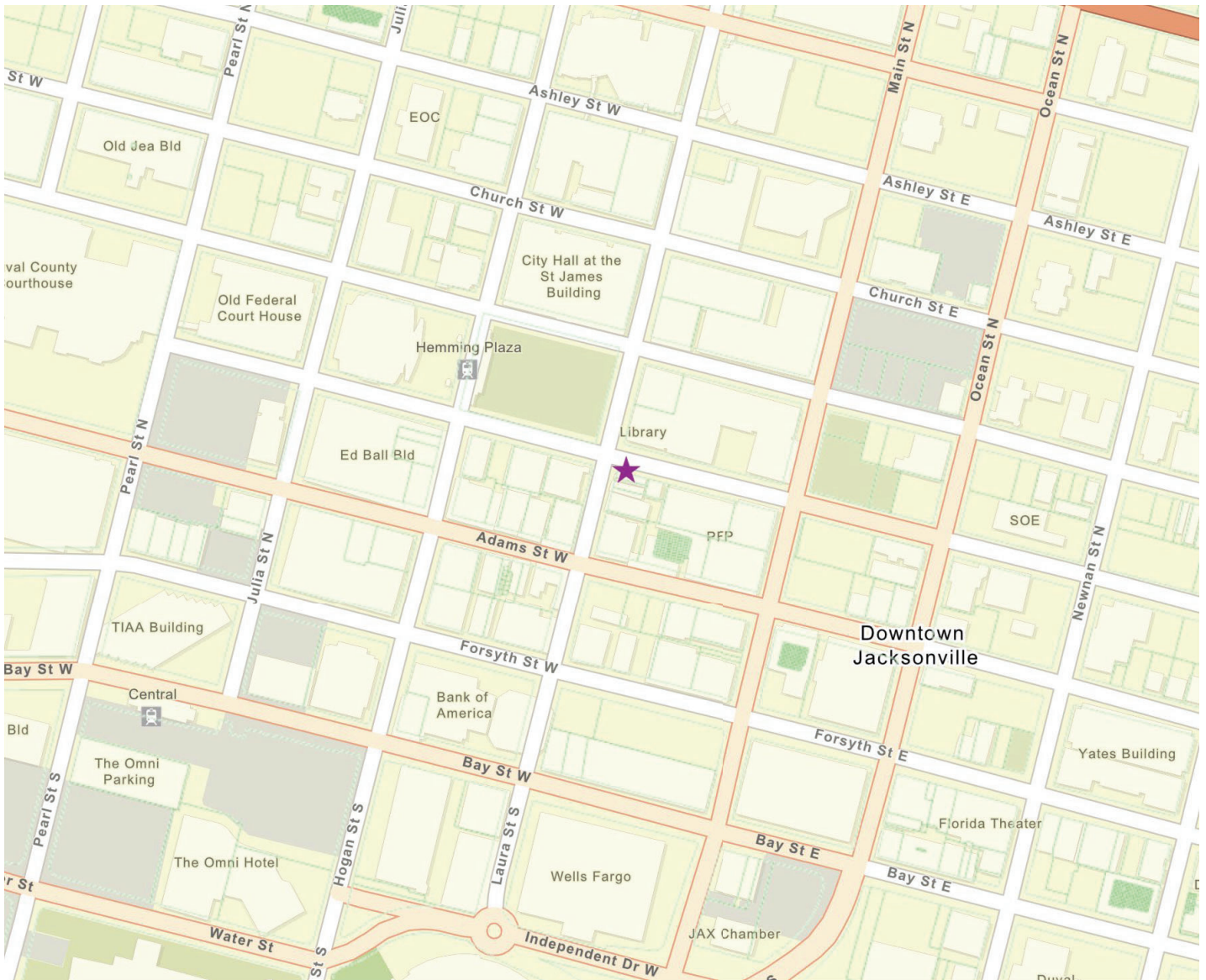
1978

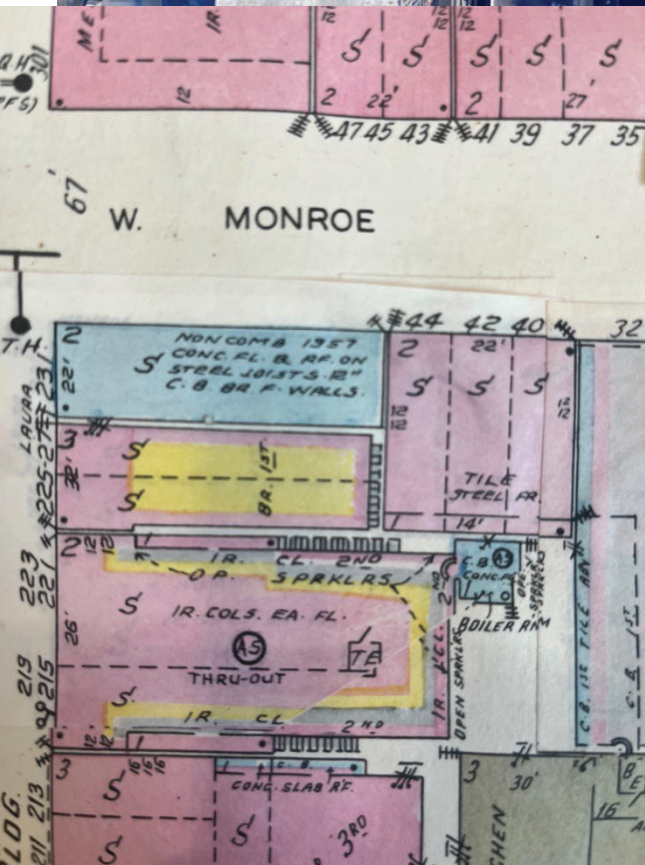
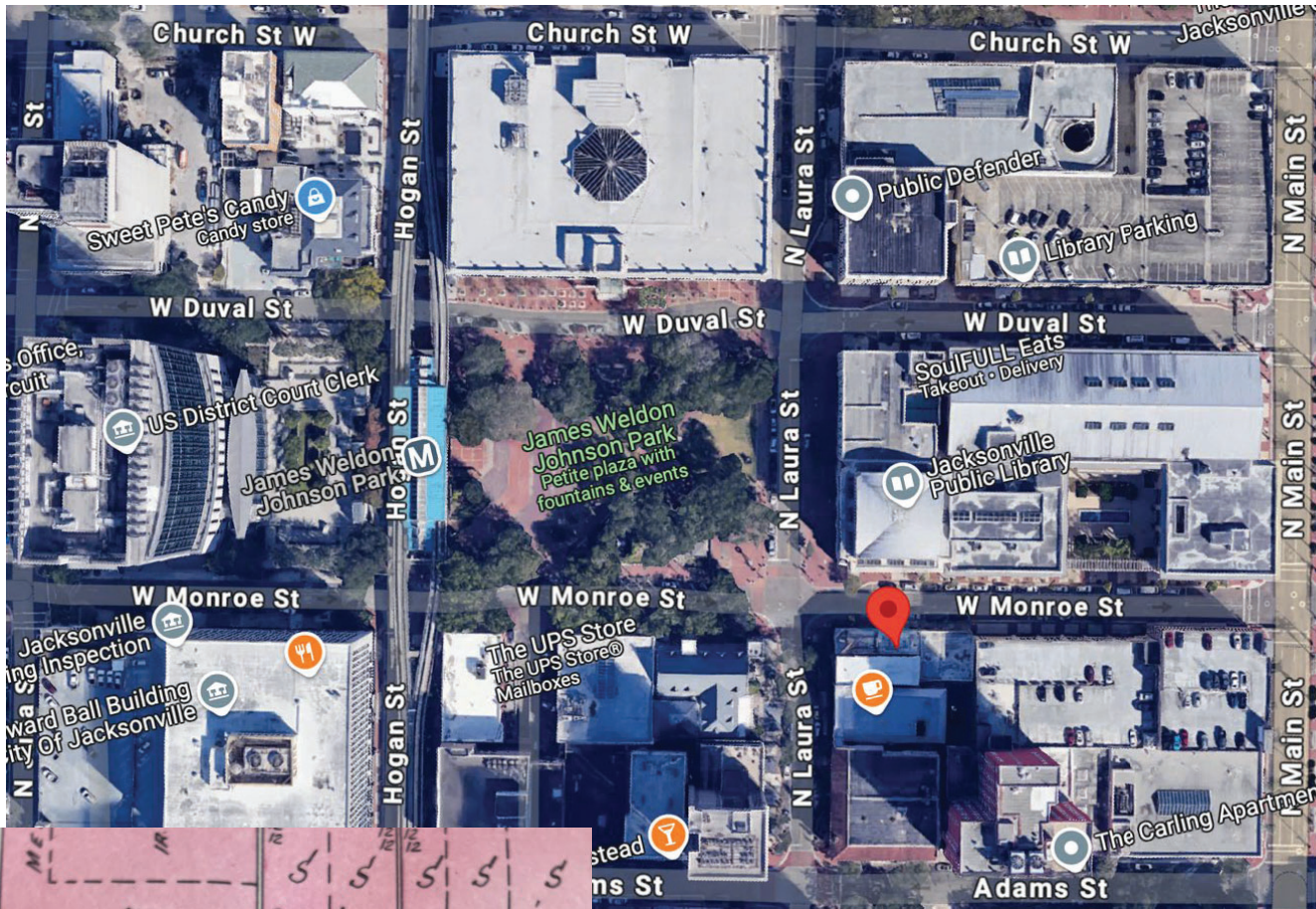


1978



AREA MAP



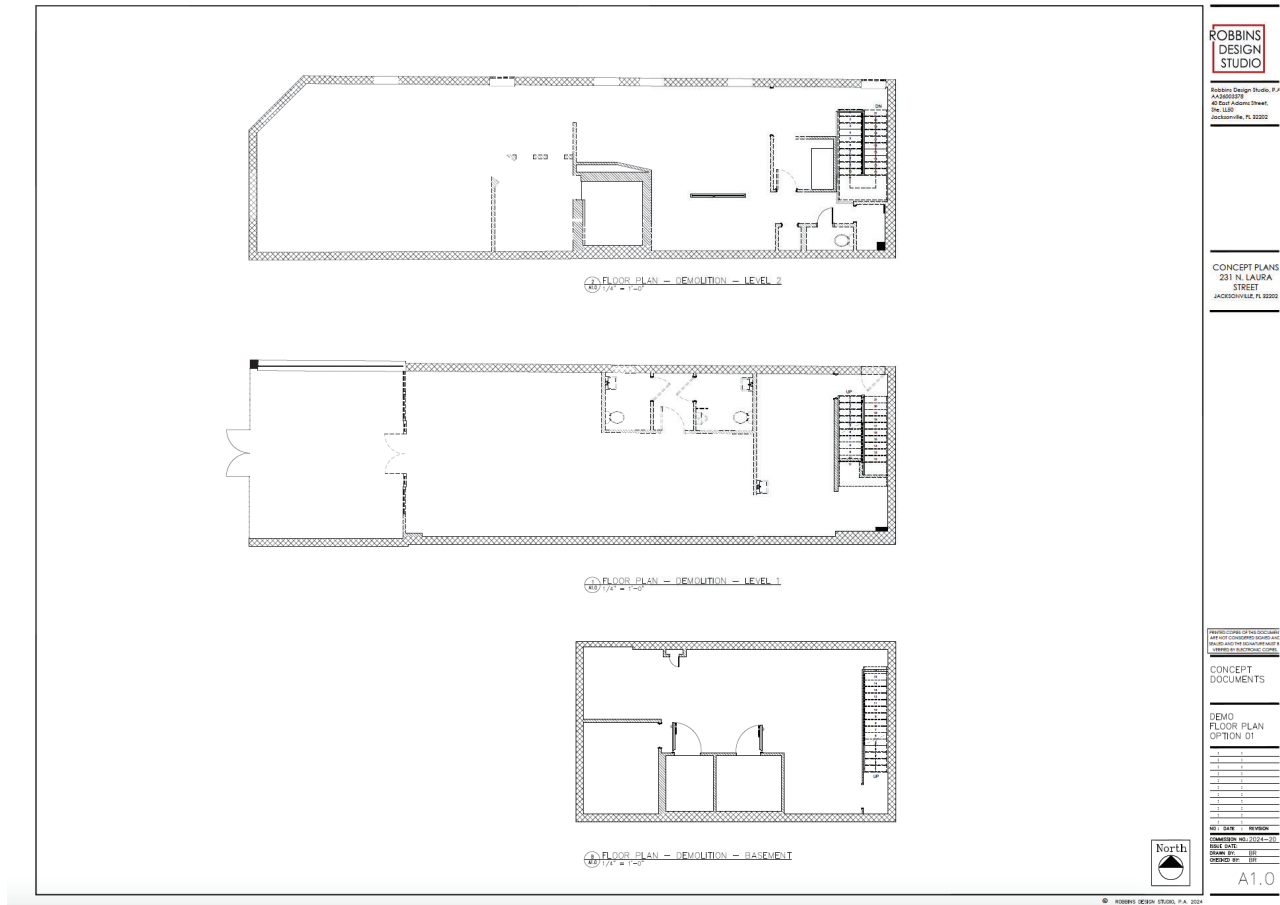


Landmark Continuation Sheets

National Shirt Shops Building

PG 38

DRAWINGS / FLOOR PLANS



LEGAL DESCRIPTION

The North 23 feet of the West 82.5 feet of Lot 5, Block 33, Hart's Map, together with the portion of said lot conveyed to Alfred C. Ulmer, Jr. et al., by Quitclaim deed dated August 9, 1956, and recorded in Official Records, Volume 137, page 148, and except for that portion thereof conveyed by Alfred C. Ulmer, Jr.; et al., in Quitclaim deed dated August 9, 1956, recorded in Official Records Volume 137, page 145, public records of Duval County, Florida; all as more particularly described In Corrective deed from Charles C. Smith to the Grantor. recorded in Official Records Volume 4431, page 324.

The North 23 feet of the West 82.5 feet of Lot 5, Block 33, Hart's Map of Jacksonville, together with that portion of said lot conveyed to Alfred C. Ulmer. Jr.,

et al., by Quitclaim Deed recorded in Official Records Volume 137, page 148, and except for that portion thereof conveyed by Alfred C. Ulmer. Jr., et al., in Quitclaim, Deed recorded in Official Records Volume 137, page 145, all as more particularly described In Corrective deed from Thomas P. Ulmer and Alice P. Ulmer, his wife, to the Grantor, recorded in Official Records Volume 4431, page 333 or 324, public records of said County.

Map Id: 6413 117200.01 1.00 1.00 1.00 CENSUS TRACT 172.00

2191 Restaurant Class 1				** VALUE SUBJECT TO CHANGE **				Duval County Property Appraisers Office				Tax Dist USDIC			
CATEGORY		BUILDING CHARACTERISTICS		UNITS		ADJ		VALUE SUMMARY		PRIMARY VALUATION METHOD		Income		BUILDING NOTES	
Exterior Wall		20 FACE BRICK		2.00		ADJ		BUILDING VALUE		BUILDING VALUE		140,187		20160	
Roofing		9 RIGID FR/BAR J		7.00		0		EXTRA FEATURE VALUE		EXTRA FEATURE VALUE		0		19919	
Roofing Cover		4 BUILT UP/T&G		3.00		0		TOTAL MARKET LAND VALUE		TOTAL MARKET LAND VALUE		56,190			
Interior Wall		5 DRYWALL		100		100		MARKET VALUE OF AG LAND		MARKET VALUE OF AG LAND		0			
Int. Flooring		7 CORK/VNYL TILE		100		100		TOTAL LAND VALUE AG + COMMON		TOTAL LAND VALUE AG + COMMON		0			
Heating Fuel		4 ELECTRIC		100		100		MARKET VALUE		MARKET VALUE		326,300			
Heating Type		4 FORCED-DUCTED		100		100		ASSESSED VALUE		ASSESSED VALUE		326,260			
Air Cond		3 CENTRAL		100		100		CAP BASE YEAR		CAP BASE YEAR		0			
Ceiling Wall		5 S CEIL WALL		100		100		TAXABLE VALUE		TAXABLE VALUE		326,260			
Comm Htg & AC		1 NOT ZONED		100		100		EXEMPTIONS		EXEMPTIONS		None			
Comm Frame		3 C-MASONRY		100		100		TOTAL EXEMPTIONS VALUE		TOTAL EXEMPTIONS VALUE		0			
CATEGORY															
Stories															
Baths															
Rooms / Units															
Avg Story Height															
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Quality Adjustment															
Mkt/Design Factor															
TOTAL ADJUSTED POINTS															
DEPRECIATION ADJ															

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CAN		459		25		115		6,922							
FST		435		50		218		13,122							
UST		1,426		40		570		34,309							
3,746		1,426		2,329		\$140,187									
ACREAGE		0.04		PRICE/SF		60.19									
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1															

BUILDING		1		AKA:		THE MAGNIFICANT CAFE		2101		RESTAURANT CLASS I		SITE ADDRESS:		231 N LAURA ST JACKSONVILLE 32202-	
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N		YEAR		CLERK		N		I		Q		V		I	
1		16828		02227		12/11/2013		WD		U		I		11	
2		08006		00391		05/18/1994		WD		U		I		16	
3		05321		01109		03/04/1981		WD		U		I		11	
4		05146		00102		05/08/1980		WD		U		I		11	
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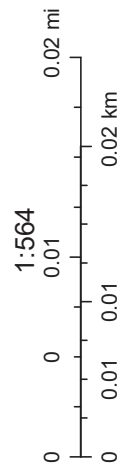
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Parcel Notes																	
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Land Development Review



April 21, 2025

Parcels





ONE CITY. ONE JACKSONVILLE.

City of Jacksonville, Florida

Planning Department

Community Planning Division
214 North Hogan Street, Suite 300
Jacksonville, FL 32202
(904) 255-7800
www.coj.net

NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: May 5, 2025
Address: 231 N Monroe St
Jacksonville FL 32202

COAN: LM-25-06
Owner: Carmen Godwin

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application LM-25-06 were posted on the property/site located at:

073696-0000
Real Estate Number(s)

231 N Monroe St
Street Address
Jacksonville, FL 32202
City, State Zip Code

Printed Name Carmen Godwin
Signature Carmen Godwin

Dated this 5 day of May, 2025

MC MAG'S CAFE MC

NOTICE
THE CITY OF JACKSONVILLE
HISTORIC PRESERVATION COMMISSION
WILL HOLD A PUBLIC HEARING
FOR APPLICATION # LM-25-05
REQUEST FOR Historic Designation
FOR MORE INFORMATION
PLEASE CALL (904) 255-7600



NOTICE
THE CITY OF JACKSONVILLE
HISTORIC PRESERVATION COMMISSION
WILL HOLD A PUBLIC HEARING
FOR APPLICATION # LA-25-06
REQUEST FOR Historic Designation
FOR MORE INFORMATION
PLEASE CALL (904) 255-7800

STATE OF FLORIDA,

S.S.

COUNTY OF DUVAL,

Before the undersigned authority personally appeared Nichol Stringer, who on oath says that she is the Publisher's Representative of the JACKSONVILLE DAILY RECORD, a weekly newspaper published at Jacksonville, in Duval County, Florida; that the attached copy of advertisement, being a Notice of Public Hearing on Application to Designate a City of Jacksonville Historic Landmark

in the matter of LM-25-06 231 Laura Street North

in the Court, was published in said newspaper by print in the issues of 5/8/25.

Affiant further says that the JACKSONVILLE DAILY RECORD complies with all legal requirements for publication in Chapter 50, Florida Statutes.

*This notice was published on both
jaxdailyrecord.com and floridapublicnotices.com.



Nichol Stringer

Sworn to and subscribed before me this 8th day of May, 2025 by Nichol Stringer who is personally known to me.



Seal

Notary Public, State of Florida

**NOTICE OF PUBLIC
HEARING ON
APPLICATION TO
DESIGNATE
231 LAURA STREET NORTH
LM-25-06
AS A CITY OF
JACKSONVILLE HISTORIC
LANDMARK**

NOTICE IS HEREBY GIVEN that on May 28, 2025 at 1:00 P.M., the Jacksonville Historic Preservation Commission of the City of Jacksonville will hold a public hearing for the consideration of 231 Laura Street North as a City of Jacksonville Historic Landmark, pursuant to *Jacksonville Ordinance Code 307.104*. The public hearing will be on the 1st floor (Room 1002) of the Ed Ball Building, 214 North Hogan Street, Jacksonville, Florida.

Exhibit A

Legal Description

THE NORTH 23 FEET OF THE WEST 82.5 FEET OF LOT 5, BLOCK 33, HART'S MAP, TOGETHER WITH THE PORTION OF SAID LOT CONVEYED TO ALFRED C. ULMER, JR., ET. AL., BY QUITCLAIM DEED DATED AUGUST 9, 1956, AND RECORDED IN OFFICIAL RECORDS, VOLUME 137, PAGE 148, AND EXCEPT FOR THAT PORTION THEREOF CONVEYED BY ALFRED C. ULMER, JR., ET AL., IN QUITCLAIM DEED DATED AUGUST 9, 1956, RECORDED IN OFFICIAL RECORDS, VOLUME 137, PAGE 145, PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA; ALL AS MORE PARTICULARLY DESCRIBED IN CORRECTIVE DEED FROM CHARLES C. SMITH TO THE GRANTOR, RECORDED IN OFFICIAL RECORDS VOLUME 4431, PAGE 324 AND CORRECTIVE DEED FROM THOMAS P. ULMER AND ALICE P. ULMER, HIS WIFE, TO THE GRANTOR, RECORDED IN OFFICIAL RECORDS VOLUME 4431, PAGE 333, PUBLIC RECORDS OF SAID COUNTY.

RE # 073696-0000

This application (LM-25-06) is being sponsored by the owner, Carmen Godwin of Historic Urban Core, LLC. A copy of the application may be examined in the Offices of the Planning Department, 3rd Floor, Ed Ball Building, 214 North Hogan Street, Jacksonville, Florida, (904) 255-7800. All interested parties are notified to be present and will be heard at the *Public Hearing*.

DATED this 7th day of May, 2025.

**Michael Montoya
Chairman
Jacksonville Historic
Preservation Commission
City of Jacksonville**

May 8 00 (25-02540D)

Arsenault, Caleb - PDCM

From: Carmen Godwin <carmengodwinrealty@gmail.com>
Sent: Tuesday, May 6, 2025 12:48 PM
To: Arsenault, Caleb - PDCM
Cc: McEachin, Joel - PWBZ; Wells, Arimus - PDCM
Subject: Re: Landmark 231 Laura and 40 Monroe
Attachments: Monroe.pdf; Laura.pdf

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Here you go! Thanks so much!
Carmen

On Mon, May 5, 2025 at 9:47 AM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good morning,

Confirming receipt of the posted sign pictures and the notarized applications. The final documents that we need are completed sign affidavits that were attached to the signs. I attached copies to this email as well if you need them. In case you need it, 38 Monroes St W is LM-25-05 and 231 Laura St N is LM-25-06.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854



From: Carmen Godwin <carmengodwinrealty@gmail.com>
Sent: Saturday, May 3, 2025 10:40 AM
To: Arsenault, Caleb - PDCM <CArsenault@coj.net>
Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>
Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Please find photos showing the signs posted.

I dropped the notarized documents to Caleb this week as well.

Thank you!

Carmen

On Thu, Apr 24, 2025 at 4:19 PM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good afternoon,

Please be advised that the **Applications for Landmark Designation (LM-25-05 and LM-25-06)** have been deemed sufficient. In order to submit the necessary materials for filing, please complete the following items:

- The required public notice signs (**3, one for Monroe St. W and two for each street-facing side of 231 Laura St. N**) and affidavits are also ready for pick-up. The signs are located outside the elevators on the 3rd floor in the Ed Ball building (214 N. Hogan St). The signs will need to be

posted by **May 14, 2025** and must be placed along **all streets that the properties front**. Please post the signs on the corresponding properties (LM-25-05 is for 38 Monroe St. W and LM-25-06 is for 231 Laura St. N), complete the affidavit forms that are attached to the signs, and return copies of the completed affidavits along with pictures of the signs posted in the yard to this email.

So long as we receive the returned affidavit forms and pictures of the signs posted on the subject properties by the provided date, your application can be scheduled for the Jacksonville Historic Preservation Commission (JHPC) meeting on **May 28, 2025**.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: **904 – 255 – 7854**



From: Arsenault, Caleb - PDCM

Sent: Monday, April 21, 2025 11:56 AM

To: Carmen Godwin <carmengodwinrealty@gmail.com>

Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: RE: Landmark 231 Laura and 40 Monroe

Good morning,

That will be fine, thank you.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854



From: Carmen Godwin <carmengodwinrealty@gmail.com>

Sent: Monday, April 21, 2025 11:54 AM

To: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Sure thing. Would it be ok if I do that when I get back to Florida on April 29th? I am on the west coast setting my daughter up in her new place and getting her settled this week.

Carmen

On Mon, Apr 21, 2025 at 8:48 AM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good morning,

Excellent, thank you! One thing when you get a chance. Could you please sign the position affidavits for Monroe Street **AND** Laura Street and have them both notarized? I just noticed that both application affidavits are missing that bit of info.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854



From: Carmen Godwin <carmengodwinrealty@gmail.com>

Sent: Monday, April 21, 2025 11:21 AM

To: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Ok sounds great. Thanks, Caleb.

Since you think the narrative looks good, I have attached the application form page.

Please let me know if you need anything else.

Carmen

On Mon, Apr 21, 2025 at 8:02 AM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good morning,

There's no need to remove it from your application. Your document will be included in the book package for the landmark report and Staff will coordinate on our stance on the criterion. If we end up believing that this landmark doesn't qualify for Criterion B, your application can still recommend it and the commission can take that into consideration and possibly recommend that we add it to our report.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: **904 – 255 – 7854**



From: Carmen Godwin <carmengodwinrealty@gmail.com>
Sent: Monday, April 21, 2025 10:52 AM
To: Arsenault, Caleb - PDCM <CArsenault@coj.net>
Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>
Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Understood. It may not qualify on that point. I can adjust the application once I hear back from you.
Thanks so much!

Carmen

Sent from my iPhone

On Apr 21, 2025, at 7:06 AM, Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good morning,

I am reading through the narrative now, it seems to be as well-written as the one for Monroe Street. I think that we are in agreement that this property appears to meet criteria A, E, and G. I am going to coordinate with the rest of Staff regarding criterion B because I am unsure if being pictured in a significant photo during a major event is enough to qualify. Typically, this criterion applies when structures play an important role in an event (in this case, if the structure was part of the sit-in or used as a shelter during the violence). I will let you know our stance on the criteria after our discussion at our weekly coordination meeting. In the meantime, please go ahead and submit the landmark designation application so that we can go ahead and place it on the **May 28** agenda along with Monroe Street.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.png>

From: Carmen Godwin <carmengodwinrealty@gmail.com>

Sent: Sunday, April 20, 2025 12:18 PM

To: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open attachments unless you trust the sender and know the content is safe.

Hi all! Please find the draft application for 231 N Laura Street. If you have any issues or questions let me know. Otherwise, I can submit the official full application.

Thanks!

Carmen

On Wed, Apr 9, 2025 at 6:09 PM Carmen Godwin <carmengodwinrealty@gmail.com> wrote:

Thank you! Trying to get you 231 Laura draft soon to review as well.

Carmen

On Tue, Apr 8, 2025 at 2:10 PM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good afternoon,

Thank you for the submission, I will prepare the application for review at our **May 28 JHPC** meeting. I will reach out if I have any further questions as I prepare Staff's report.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: **904 – 255 – 7854**

<image001.png>

From: Carmen Godwin <carmengodwinrealty@gmail.com>

Sent: Tuesday, April 8, 2025 12:36 PM

To: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open attachments unless you trust the sender and know the content is safe.

Caleb and Joel,


Please find the completed Landmark Request Form and Application with Addenda attached for the 38-44 Monroe Street Landmark Application.


I've also attached a few of the directories showing Abner C. Hopkins offices at this address. I found my notes for dates after 1960 but I didn't take photos of the directories at the library. If you need me to go to the library and make some copies of the directories from later years please let me know.


Also, if anything stands out that you think needs to be altered just let me know.


Thanks so much!

Carmen

 1955 Directory.jpg

 1958 Directory.jpg

 1959 Directory.jpg

 1960 Directory.jpg

On Tue, Apr 8, 2025 at 10:23 AM Carmen Godwin <carmengodwinrealty@gmail.com> wrote:

This is great! I was looking for that book and couldn't find it.

On Tue, Apr 8, 2025 at 9:42 AM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good morning,

Joel identified some information on Abner C. Hopkins this morning and I have included them here for your review in case they help with Criterion C.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.png>

From: Arsenault, Caleb - PDCM

Sent: Tuesday, April 1, 2025 8:49 AM

To: Carmen Godwin <carmengodwinrealty@gmail.com>

Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: RE: Landmark 231 Laura and 40 Monroe

Good morning,

Excellent, I will add this information to the file once this application is submitted. If you have a copy of the City Directory pages with dates, then that would be great. With this information, I believe that we have a case for Criterion C.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.png>

From: Carmen Godwin <carmengodwinrealty@gmail.com>

Sent: Monday, March 31, 2025 6:40 PM

To: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open attachments unless you trust the sender and know the content is safe.

Thanks so much! That was quick and I appreciate the feedback.

I will remove Criterion F. I wasn't sure how to differentiate it from E to be honest so this is helpful.

Let me know if any of this is helpful information for Abner C. Hopkins:

1. I can document his office at 38 West Monroe beginning around 1954 in the city directories. Do you need copies of the directory page with dates?
2. Attached is a historic site survey from Fernandina showing he completed expansion projects on the Nassau County Courthouse and the Nassau County Jail in 1954. [The Courthouse Site](#) states there were two additions, one in 1953 and one in 1955, which he would have been on Monroe Street at that time.
3. [Sears & Roebuck Warehouse](#) was under construction in 1948.
4. Attached is an advertisement for the 1969 opening of The Citadel Condos in Fort Lauderdale

5. Attached is the NR App for the Nassau County Jail which has a bio for Abner C. Hopkins included
6. [Wolfsonian](#) has plans for Morrisons Cafeterias in Lakeland and Mobile I HAVE A FEELING HE HAD A CONTRACT WITH MORRISONS AND I WISH I COULD FIND OUT IF HE ALSO DESIGNED THE ONE IN JAX, SARASOTA, ETC....
7. Girls and Boys Homes -- I didn't mention this in my narrative but there are some city minutes about his design of these attached.
8. Lovett Grocery Chains -- I need to find my notes on this but I think he may have had a contract with them or Winn Dixie also but I can't confirm.

Carmen

On Mon, Mar 31, 2025 at 4:10 PM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good afternoon,

I have read through the draft that you provided and I believe that we are in agreement with Criteria A, E, and G. We will need to confirm C, if you could provide anything that could confirm that Abner Hopkins' office was in the building at the time. I couldn't find any reference in our archive, but with documentation, we could make an argument for that criterion as well. More information on buildings that he designed while his office was located at Monroe Street would be very beneficial as well. Regarding criterion F, we typically only apply that to structures that are significant examples of an architectural style, that employ indigenous materials in a unique way, and/or that employed a unique method of construction. While the building characterizes mid-century commercial construction and retains much of its integrity, it does not appear to meet this standard. That being said, this document will be part of your application, and if you believe that a case can be made for the criteria, please feel free to include it in the report, that way it remains documented.

We look forward to reviewing the applications for these two properties!

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.png>

From: Carmen Godwin <carmengodwinrealty@gmail.com>

Sent: Sunday, March 30, 2025 10:09 PM

To: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Cc: McEachin, Joel - PWBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or open attachments unless you trust the sender and know the content is safe.

Hi again!

Please find my draft landmark application for 38-44 West Monroe Street attached for your review. I will submit the complete application with the Landmark Request form after you've had a chance to review and provide comment/feedback.

I am hoping to have 231 N Laura completed in the next few days for review.

Thanks so much.

Carmen

On Thu, Mar 27, 2025 at 11:19 AM Carmen Godwin
<carmengodwinrealty@gmail.com> wrote:

Ok thanks. Apparently, he contributed to a book called "Jacksonville, architecturally" that was supposedly published in the late 30s or early 40s. He designed the Sears and Roebuck warehouse, Lovett grocery stores (later Winn Dixie), the R C cola building in San Marco and much more. Just trying to get ahold of more info on him. Thank you! Carmen. .

Sent from my iPhone

On Mar 27, 2025, at 9:28 AM, Arsenault, Caleb - PDCM
<CArsenault@coj.net> wrote:

Good morning,

I took a look while I was in the archives and we do not have a biographical file for a Hopkins. Joel may be aware of something that I am not, so I will defer to him in case there is information elsewhere in another file that he is aware of.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.png>

From: Carmen Godwin <carmengodwinrealty@gmail.com>
Sent: Wednesday, March 26, 2025 1:28 PM
To: Arsenault, Caleb - PDCM <CArsenault@coj.net>
Cc: McEachin, Joel - PDBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>
Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click any links or attachments unless you trust the sender and know the content is safe.

Hi Caleb, I'm sorry to bother you again, but I've gone down a rabbit hole on Abner C Hopkins. His office was in the MONROE Street building for about 20 years and it looks like he was a pretty prominent architect in the state. Do you have any vertical files on him?

Thanks so much! Carmen

Sent from my iPhone

On Mar 21, 2025, at 2:46 PM, Carmen Godwin <carmengodwinrealty@gmail.com> wrote:

Thanks, Caleb. I appreciate it .

Hope you have a great weekend.

Carmen

On Fri, Mar 21, 2025 at 1:56 PM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good afternoon,

I sent over everything that we have in our hard file for the two properties. You can request a copy of the full form by emailing Marissa.Miller@dos.fl.gov. It looks like the file is DU21677 – 231 North Laura Street.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.jpg>

From: Carmen Godwin <carmengodwinrealty@gmail.com>

Sent: Friday, March 21, 2025 1:43 PM

To: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Cc: McEachin, Joel - PDBZ <MCEACHIN@coj.net>; Wells, Arimus - PDCM <ArimusW@coj.net>

Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click on attachments unless you trust the sender and know the content is safe.

Caleb,

The FMSF for 231 Laura doesn't seem to contain the continuation sheets with the map and larger historic descriptions. Can you take a look and see if there are additional pages that just weren't scanned possibly?

I was so excited to find the Sanborn Map showing a vacant parcel and the new construction date for 231 Laura as 1957 -- so I have a date!

I also found an article with the opening of a bakery and event space at the Monroe Street building, along with the date the architect moved to the second floor, so I am fairly certain the date for that structure is 1947. Exciting stuff!

Carmen

On Tue, Mar 18, 2025 at 1:46 PM Carmen Godwin <carmengodwinrealty@gmail.com> wrote:

Ok thanks so much.

Carmen

On Tue, Mar 18, 2025 at 1:06 PM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good afternoon,

That is correct. The sufficiency deadline for the April meeting is March 20 (two days) and that will not be adequate enough time to obtain and review the applications and affidavits and return our comments.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.jpg>

From: Carmen Godwin

<carmengodwinrealty@gmail.com>

Sent: Tuesday, March 18, 2025 12:18 PM

To: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Cc: McEachin, Joel - PDBZ <MCEACHIN@coj.net>; Wells,
Arimus - PDCM <ArimusW@coj.net>

Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not click on attachments unless you trust the sender and know the content is safe.

Thank you. So just to confirm I have missed the deadline for the April meeting?

Thanks!

Carmen

On Tue, Mar 18, 2025 at 11:54 AM Arsenault, Caleb
- PDCM <CArsenault@coj.net> wrote:

Good afternoon,

The next meeting that we could make is on **May 28, 2025**. The deadline to have everything submitted and reviewed by us for both applications in order to make this meeting is April 24. I have attached the landmark request form

and the position declaration affidavit to this email in case you don't already have them. Please complete each form for each individual property and feel free to send the completed forms and any supplementary information to this email.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.jpg>

From: Carmen Godwin
<carmengodwinrealty@gmail.com>
Sent: Tuesday, March 18, 2025 11:43 AM
To: Arsenault, Caleb - PDCM <CArsenault@coj.net>
Cc: McEachin, Joel - PDBZ <MCEACHIN@coj.net>
Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not attachments unless you trust the sender and know the content is safe.

Thank you so much.

When is the next submittal deadline and which meeting would that be for?

I am hoping to have something to you by the end of the week to review for each property.

Carmen

On Wed, Mar 12, 2025 at 9:34 AM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good morning,

Attached is the requested FMSF Form.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: 904 – 255 – 7854

<image001.jpg>

From: Carmen Godwin
<carmengodwinrealty@gmail.com>
Sent: Sunday, March 9, 2025 9:33 PM
To: Arsenault, Caleb - PDCM <CArsenault@coj.net>
Cc: McEachin, Joel - PDBZ <MCEACHIN@coj.net>
Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not open attachments unless you trust the sender and know the content is safe.

Caleb -- can you send me a copy of the Monroe FMSF you referenced above?

Thanks so much!

Carmen

On Fri, Jan 24, 2025 at 10:42 AM Carmen Godwin <carmengodwinrealty@gmail.com> wrote:

Thank you so much, Caleb and Joel. I may go down to the library and see if I can find any notices in the paper about the new building. It will be tedious and they don't always do write ups but maybe there will be something if there isn't a permit.

Carmen

On Thu, Jan 23, 2025 at 4:10 PM Arsenault, Caleb - PDCM <CArsenault@coj.net> wrote:

Good afternoon,

My name is Caleb Arsenault, and I conducted some preliminary research on these two properties a few months ago when interest in landmark designation was suggested. I will attempt to answer your questions as best as I can below:

38 Monroe St. W (40-44 Monroe St. W)

Our records, including a Florida Master Site File form, indicate that the building was constructed around 1940 as it first appears in Sanborn Fire Insurance Maps in 1949 and its architecture matches that of many of the structures built in the 1940s around Jacksonville's downtown. Our permit records for the building only date back to 1959, but the building was obviously constructed before that.

231 Laura St. N

The Florida Master Site File form for this property indicates that it was constructed in approximately 1951. I see that on the 1949 Sanborn Fire Insurance Map, there appears to be a three-story building which seems to have several inconsistencies with the existing building. I will need to check the permit records on this property again to confirm the changes that have taken place on this property over the decades. This property may be more difficult to designate depending on how much information is available on the structure.

1. Please fill out an application for each property rather than combining them.

1. We utilize language that matches that of the National Register of Historic Places listing for the downtown area. Depending on our findings, we would apply this language to whichever criteria that we believe the applications could meet.

1. Attached is the application from 128 West Adams Street (LM-21-07).

I have also attached the blank application form which should be completed and returned to us either through email or in person. Additionally attached are documents that describe the designation process and a visualization of the process in a chart form.

Best regards,

Caleb Arsenault, MHP

City Planner I

Historic Preservation Section | Planning and Development
Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

Office: **904 – 255 – 7854**

<image001.jpg>

From: McEachin, Joel - PDBZ <MCEACHIN@coj.net>

Sent: Thursday, January 23, 2025 11:51 AM

To: Carmen Godwin

<carmengodwinrealty@gmail.com>

Cc: Arsenault, Caleb - PDCM <CArsenault@coj.net>

Subject: RE: Landmark 231 Laura and 40 Monroe

Carmen,

Andrew is no longer with us. He resumed his army career. Caleb Arsenault will be handling both landmarks. If the two buildings have different legal

descriptions and Property Record Cards each building would require a separate application even if under the same ownership. We had to that with the Whetsonian building (801 N. Jefferson Street) nomination and the adjacent Atlanta Life Insurance company, 801 North Jefferson Street. Attached is the report for 211 West Ashley Street which includes a historical context statement for downtown during the 1940, 50s and 60s,

Thanks,

Joel

From: Carmen Godwin
<carmengodwinrealty@gmail.com>
Sent: Wednesday, January 22, 2025 10:25 PM
To: Mueller, Andrew - PDCM <AMueller@coj.net>;
McEachin, Joel - PDBZ <MCEACHIN@coj.net>
Subject: Re: Landmark 231 Laura and 40 Monroe

EXTERNAL EMAIL: This email originated from a non-COJ email address. Do not open attachments unless you trust the sender and know the content is safe.

Hi Joel and Andrew,

I am just checking back on this email to see if you had any thoughts.

I had some general historical info I could use help and direction with as well as a few questions at the bottom of my email and request for information.

Thanks for any help you can provide.

Carmen

On Wed, Dec 18, 2024 at 9:55 AM Carmen Godwin <carmengodwinrealty@gmail.com> wrote:

Hi Joel and Andrew,

Hope you both are doing well!

I've done some more research on these two buildings and I am at a bit of an impasse and was hoping for your help or thoughts.

MONROE

For the **Monroe** building, I was able to confirm the addresses as 40, 42 and 44 Monroe -- these are the three storefront addresses and also the addresses that show up on the Sanborn Maps. I have found three storefront businesses located in these addresses as early as 1949. The 1928 Sanborn shows residential along much of this block. The 1953 Sanborn shows the building constructed at 40-44 Monroe. So, I am pretty certain based on this and the directories that the building was constructed in 1948 or 1949. Are there any permit records for this date range and these addresses? Or any additional information you may have or a direction you can point me in for more information?

LAURA

For **231 Laura Street**, I am stumped to be honest and could use some help. The 1913,

1928 and 1953 Sanborn Maps show a three story building at this location. The 1961 Sanborn shows a 2 story building and has what appears to be a date written in of 1957. I haven't seen dates on Sanborn maps but this particular page had a couple other structures with what appeared to be dates written in as well. The confusion comes when I get to the directories. I was trying to narrow the date of construction down but from 1944 through 1965, there are three addresses listed, including two storefronts (231, 237) and residential 237 1/2 which is listed as Apartments, Huntley Apartments and later Hutto Apartments. I am assuming these are two storefronts since the 200 block ends at Monroe with the 12 apartments above on the second and third floors. National Shirt Shops takes over the 231 address from Marks Women's Furnishings in 1949 but there is still the bookstore and apartments listed through 1965 directories. I would think if the construction date is 1957 as shown on Sanborn, there would be a change in the directory that eliminates the 237 address as well as the 12 apartments. Am I looking at this wrong? Do you have any permit records or any additional info that may be of assistance in figuring this out?

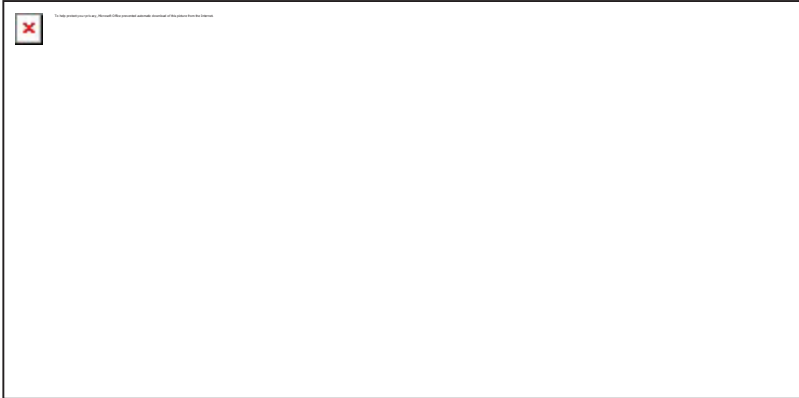
Also, about the landmark application specifically,

1. Can I apply for both of these buildings to be landmarked together? Or do I have to complete two separate applications?
2. Do you have a general statement of significance for the downtown area during this period of construction from the late 1940s through the 1960s (if we can confirm these dates of course).
3. Do you have any landmark applications for buildings constructed during this period that you could share with me?

Thanks so much for your help!

Carmen

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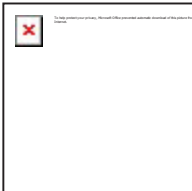


Carmen Godwin, REALTOR®

Cowford Realty & Design

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904.708.0825



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