

file copy

Date Submitted:	11/8/2024
Date Filed:	2/1/25

Application Number:	SW-25-01
Public Hearing:	

Application for Sign Waiver
 City of Jacksonville, Florida
 Planning and Development Department

Please type or print in ink. Instructions regarding the completion and submittal of this application are located at the end of this form. For additional information, please contact the Planning and Development Department at (904) 255-7865.

For Official Use Only		
Current Zoning District:	RLD-90	Current Land Use Category: LDR
Council District:	2	Planning District: 2
Previous Zoning Applications Filed (provide application numbers): none found		
Applicable Section of Ordinance Code: 656.1303 (b)		
Notice of Violation(s): none found		
Neighborhood Associations: see attached		
Overlay: none		
LUZ Public Hearing Date:		City Council Public Hearing Date:
Number of Signs to Post:	1	Amount of Fee: \$1490. Zoning Asst. Initials: P.T./LR

PROPERTY INFORMATION	
1. Complete Property Address: 10900 McCormick Road, Jacksonville, Florida 32225	2. Real Estate Number: 161220-0000
3. Land Area (Acres): 4.09	4. Date Lot was Recorded: July 21, 2013
5. Property Located Between Streets: St. Johns Bluff Road and Challeux Dr. S	6. Utility Services Provider: City Water / City Sewer <input checked="" type="checkbox"/> Well / Septic <input type="checkbox"/>

7. Waiver Sought:

- Increase maximum height of sign from _____ to _____ feet (maximum request 20% or 5 ft. in height, whichever is less). *Note – Per Section 656.1310, no waiver shall be granted which would permit a sign in excess of 40 feet in height in any zoning district.
- Increase maximum size of sign from _____ sq. ft. to _____ sq. ft. (maximum request 25% or 10 sq. ft., whichever is less)
- Increase number of signs from _____ to _____ (not to exceed maximum square feet allowed)
- Allow for illumination or change from _____ external to **X** _____ internal lighting
- Reduce minimum setback from **20** feet to **10** feet (less than 1 ft. may be granted administratively) Sign location does not change from existing sign.

8. In whose name will the Waiver be granted?
Highlands United Presbyterian Church

9. Is transferability requested? *If approved, the waiver is transferred with the property.*

- Yes
- No

OWNER'S INFORMATION (please attach separate sheet if more than one owner)

10. Name: Presbytery of Saint Augustine	11. E-mail: info@staugpres.org
12. Address (including city, state, zip): 1937 University Blvd. W Jacksonville Florida 32217	13. Preferred Telephone: 904-733-8277

APPLICANT'S INFORMATION (if different from owner)

14. Name: Thomas E. Sweeney	15. E-mail: tesweeney1@comcast.net
16. Address (including city, state, zip): 11308 Oak Landings Drive Jacksonville, Florida 32225	17. Preferred Telephone: 904-755-2457

CRITERIA

Section 656.1310, Ordinance Code, sets forth procedures and criteria for evaluating waivers of the Part 13 sign regulations. Section 656.1302 of the Ordinance Code defines a sign as *"a painting, structure, projected image or device which is placed, erected, constructed or maintained on or in the ground or water, or on or outside of an enclosed building, boat, ship, vessel or other object or structure or affixed or painted on or inside an exterior window of a building for the purpose of display, information, advertisement or attraction of the attention of persons, including posters, pictures, pictorial or reading matter and a letter, word, model, device or representation used in the nature of an advertisement, announcement, attraction or direction."*

Section 656.133(c)1 through 10, Ordinance Code, provides that, with respect to action upon Applications for Sign Waivers, the City Council shall grant a waiver only if substantial competent evidence exists to support a positive finding based on each of the following criteria as applicable:

1. *Will the effect of the sign waiver be compatible with the existing contiguous signage or zoning and consistent with the general character of the area considering population, density, scale, and orientation of the structures in the area?*
2. *Would the result detract from the specific intent of the zoning ordinance by promoting the continued existence of nonconforming signs that exist in the vicinity?*
3. *Could the effect of the proposed waiver diminish property values in, or negatively alter the aesthetic character of the area surrounding the site, and could such waiver substantially interfere with or injure the rights of others whose property would be affected by the same?*
4. *Would the waiver have a detrimental effect on vehicular traffic or parking conditions, or result in the creation of objectionable or excessive light, glare, shadows or other effects, taking into account existing uses and zoning in the vicinity?*
5. *Is the proposed waiver detrimental to the public health, safety or welfare, or could such waiver result in additional public expense, creation of nuisances, or cause conflict with any other applicable law?*
6. *Does the subject property exhibit specific physical limitations or characteristics, which would be unique to the site and which would make imposition of the strict letter of the regulation unduly burdensome?*
7. *Is the request based exclusively upon a desire to reduce the costs associated with compliance and is the request the minimum necessary to obtain a reasonable communication of one's message?*
8. *Is the request the result of a violation that has existed for a considerable length of time without receiving a citation and if so, is the violation that exists a result of construction that occurred prior to the applicant's acquiring the property, not being a direct result of the actions of the current owner?*
9. *Does the request accomplish a compelling public interest such as, for example, furthering the preservation of natural resources by saving a tree or trees?*
10. *Would strict compliance with the regulation create a substantial financial burden when considering the cost of compliance?*

18. Given the above definition of a "sign" and the aforementioned criteria by which the request will be reviewed against, please describe the reason that the waiver is being sought. Provide as much information as you can; you may attach a separate sheet if necessary. Please note that failure by the applicant to adequately substantiate the need for the request and to meet the criteria set forth may result in a denial.

We are requesting this waiver in order to replace the existing sign which was installed in March 2011. The sign was used when the church purchased it and it has become increasingly difficult to keep in working order. Repair parts have become impossible to find. The sign is blocked on either side of the property by trees and hedges, plus fences from adjacent properties. Additionally, after the last storm, the sign is no longer operational and is unable to be repaired.

ATTACHMENTS

The following attachments must accompany each copy of the application.

- Survey
- Site Plan – two (2) copies on 8 ½ x 11 and two (2) copies on 11 x 17 or larger
- Property Ownership Affidavit (Exhibit A)
- Agent Authorization if application is made by any person other than the property owner (Exhibit B)
- Legal Description – may be written as either lot and block, or metes and bounds (Exhibit 1)
- Proof of property ownership – may be print-out of property appraiser record card if individual owner, http://apps.coj.net/pao_propertySearch/Basic/Search.aspx, or print-out of entry from the Florida Department of State Division of Corporations if a corporate owner, <http://search.sunbiz.org/Inquiry/CorporationSearch/ByName>.
- Photographs of sign structure showing nonconforming nature and physical impediments to compliance.
- If waiver is based on economic hardship, applicant must submit the following:
 - Two (2) estimates from licensed contractors stating the cost of bringing the sign structure into compliance; and
 - Any other information the applicant wished to have considered in connection to the waiver request.

FILING FEES

*Applications filed to correct existing zoning violations are subject to a double fee.

<u>Base Fee</u>	<u>Public Notices</u>	<u>Advertisement</u>
Residential Districts: \$1,161.00	\$7.00 per Addressee	Billed directly to owner/agent
Non-residential Districts: \$1,173.00		

NOTE: City Council may, as a condition of the waiver, specify a time period within which the sign structure shall be required to conform to the requirements of the City's sign regulations.

AUTHORIZATION

Please review your application. No application will be accepted until all of the requested information has been supplied and the required fee has been paid. The acceptance of an application as being complete does not guarantee its approval by the City Council. The owner and/or authorized agent must be present at the public hearing.

The required public notice signs must be posted on the property within five (5) working days after the filing of this application. Sign(s) must remain posted and maintained until a final determination has been made on the application.

I hereby certify that I have read and understand the information contained in this application, that I am the owner or authorized agent for the owner with authority to make this application, and that all of the information contained in this application, including the attachments, is true and correct to the best of my knowledge.

<p>Owner(s) Print name: <u>David N. Rollins</u> Signature: _____</p>	<p>Applicant or Agent (if different than owner) Print name: <u>Thomas E. Sweeney</u> Signature: _____</p>
<p>Owner(s) Print name: _____ Signature: _____</p>	<p><i>*An agent authorization letter is required if the application is made by any person other than the property owner.</i></p>

SUBMITTAL

This application must be typed or printed in ink and submitted along with three (3) copies for a total of **four (4) applications**. Each application must include **all required attachments**.

Submit applications to:

Planning and Development Department, Zoning Section
214 North Hogan Street, 2nd Floor
Jacksonville, Florida 32202
(904) 255-8300

Prepared by
April S. Riese, an employee of
First American Title Company, LLC
601 Travis, Suite 1875
Houston, Texas 77002
(800)683-5552

Return to: above address

File No.: NCS-630693-HOU1

CORRECTIVE QUIT CLAIM DEED

Made on 7-21-2013, by and between

**The Presbytery of Tropical Florida, Inc. as successor to Presbytery of Northeast Florida, Inc.
as successor to North Florida Presbytery of the United Presbyterian Church in the United
States of America**

whose address is: **440 East Sample Road, Suite 208, Pompana Beach, FL 33064**,
hereinafter called the "grantor", to

Highlands United Presbyterian Church of Jacksonville, Inc.

whose post office address is: **10900 McCormick Road, Jacksonville, FL 32225**
hereinafter called the "grantee";

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal
representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of \$ TEN AND NO/100 DOLLARS
(\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, does hereby
remise, release, and quit claim unto the grantee forever, all the right title, interest, claim and demand
which the said grantor has in and to, all that certain land situate in **Duval** County **Florida**, viz:

A PORTION OF GOVERNMENT LOT 11, SECTION 5, TOWNSHIP 2 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 11,; THENCE NORTH 89° 24' 10" EAST, ALONG THE SOUTHERLY BOUNDARY OF SAID GOVERNMENT LOT 11, .1136 FEET TO A POINT FOR THE POINT OF BEGINNING; THENCE NORTH 1° 20' 20" WEST PARALLEL TO THE WESTERLY BOUNDARY OF SAID GOVERNMENT LOT 11, 825.45 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF MCCORMICK ROAD, A 100 FOOT RIGHT OF WAY; THENCE NORTH 69° 41' 30" EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID MCCORMICK ROAD, 241.19 FEET TO AN INTERSECTION WITH THE EASTERLY BOUNDARY OF SAID GOVERNMENT LOT 11; THENCE SOUTH 1° 21' 40" EAST ALONG THE EASTERLY BOUNDARY OF SAID GOVERNMENT LOT 11, 906.81 FEET TO THE SOUTHEAST CORNER THEREOF THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID GOVERNMENT LOT 11 SOUTH 89° 24' 10" WEST, 228.44 FEET TO THE POINT OF BEGINNING, CONTAINING 4.54 ACRES. EXCEPTING THERE-FROM 0.37 ACRES FOR FUTURE PROPOSED ROAD AND 0.23 ACRES LYING SOUTHERLY AND SOUTH-EASTERLY THEREOF AS SHOWN ON SURVEY BY R. L. CROASDELL & COMPANY, ENGINEERS, FILE NO. 40424, DATED JUNE 4, 1964.

The purpose of this corrective deed is to correct a scrivener's error in that deed recorded in Book 5878, Page 754 Official Records of Duval County, Florida in that the name of the grantee was incorrectly stated by the omission of the words "of Jacksonville".

Parcel Identification Number: **161220-0000**

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same together with all and singular appurtenances thereunto belonging or in anywise appertaining, and all estate, right, title, interest, lien, equity and claim whatsoever of the said grantor, either in law or equity, to the only proper use, benefit and behalf of the said grantee forever.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

The Presbytery of
Tropical Florida, Inc.

by: M. Randall Gill
President
Print Name: M. Randall Gill

Albert W. Bush, Jr
Secretary
Print Name: Albert W. Bush, Jr

Signed, sealed and delivered in our presence:

Margaret E. Hellgren
Witness Signature
Print Name: Margaret E. Hellgren

Delphia Sullivan
Witness Signature
Print Name: DELPHIA SULLIVAN

State of Florida

County of Broward

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED before me on 11-21-2013
by The Presbytery of Tropical Florida, Inc. M. Randall Gill, President and
Albert W. Bush, Jr Secretary, who are personally known to me or has produced a valid driver's
license as identification.

Sharon L. Lowe
Notary Public

Sharon L. Lowe
(Printed Name)



My Commission expires: 7-02-2016

{Notarial Seal}



City of Jacksonville
Planning & Development Department
214 N. Hogan Street, Suite 300
Jacksonville, Florida 32202

**AFFIDAVIT OF PROPERTY OWNERSHIP AND DESIGNATION OF AGENT
Corporation/Partnership/Trust/Other Entity**

HIGHLANDS UNITED PRESBYTERIAN CHURCH of JACKSONVILLE, INC.
Owner Name

10900 McCormick Road, Jacksonville, FL 32225
Address(es) for Subject Property

59-1614705
Real Estate Parcel Number(s) for Subject Property

Edward Alan Robbins
Appointed or Authorized Agent(s)

Type of Request(s)/Application(s)

STATE OF Florida
COUNTY OF Duval

BEFORE ME, the undersigned authority, this day personally appeared Edward Alan Robbins hereinafter also referred to as "Affiant", who being by me first duly sworn, under oath, deposes and states as follows:

- Affiant is the President of Highlands United Pres. Church (the "Entity") that is the owner and record title holder of the property described above and more specifically in the attached legal description (the "Subject Property"), which property is the subject of the above-noted request(s)/application(s) being made to the City of Jacksonville.*
- Affiant affirms that he/she is authorized to execute this Affidavit on behalf of the aforesaid Entity.
- That I, the undersigned, as an authorized representative of the Entity, have appointed, and do hereby appoint, the above-noted person(s)/entity as agent(s) to act on behalf of said Entity in connection with the above-referenced request(s)/application(s). Said agent(s) is/are authorized and empowered to act as agent to file application(s) for land use amendment(s), rezoning(s), and/or other development permits for the Subject Property and, in connection with such authorization, to file such applications, papers, documents, requests and other matters necessary to effectuate and pursue such requested change(s) and/or development permit(s) and including appearances before all City boards, commissions or committees on behalf of the application(s). In authorizing the agent(s) named herein to represent the Entity, I attest that the application(s) is/are made in good faith.

PREVIOUS VERSIONS OF THIS FORM ARE OBSOLETE

4. Affiant further acknowledges that any change in ownership of the Subject Property and/or the designated agent(s) that occur prior to the date of final public hearing or City Council action on the application(s) associated herewith shall require that a new Affidavit of Property Ownership and Designation of Agent be submitted to the City of Jacksonville Planning and Development Department to reflect any such changes.
5. I acknowledge and affirm that I am familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath. Under penalty of perjury, I hereby declare that I have examined this Affidavit and to the best of my knowledge and belief, it is true, correct and complete.

FURTHER AFFIANT SAYETH NAUGHT.

E. Alan Robbins

Signature of Affiant

E. Alan Robbins

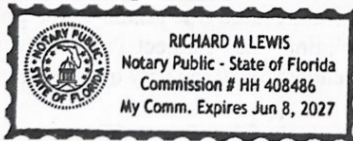
Printed/Typed Name of Affiant

* Affiant shall provide documentation illustrating that Affiant is an authorized representative of the entity-owner of the Subject Property. This may be shown through a corporate resolution, power of attorney, printout from Sunbiz.org, trust agreement, etc.

NOTARIAL CERTIFICATE

Sworn to and subscribed before me by means of physical presence or online notarization, this 28, day of February, 2025, by Edward Alan Robbins as President for Highlands United Presbyterian Church of Jacksonville who is personally known to me or has produced identification and who took an oath.

Type of identification produced FL DL



[NOTARY SEAL]

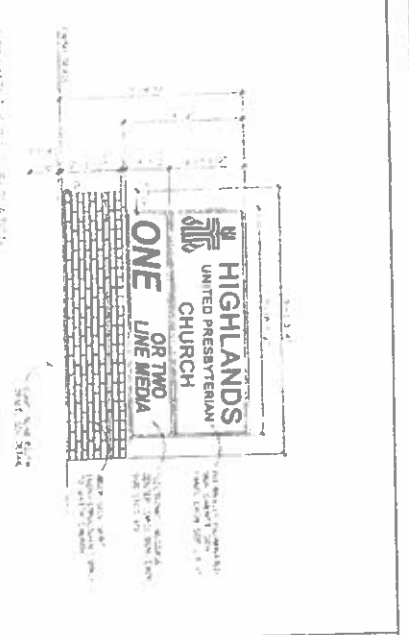
Richard Lewis
Notary Public Signature

Richard Lewis
Printed/Typed Name – Notary Public

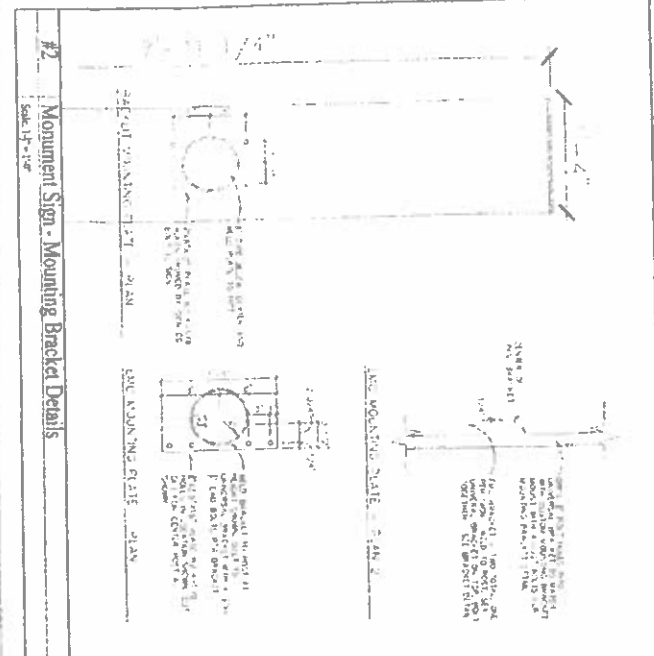
My commission expires: June 8, 2027

NOTE: APPLICATIONS SUBMITTED WITH AN INCORRECTLY COMPLETED, INCOMPLETE, OR ALTERED AFFIDAVIT OF PROPERTY OWNERSHIP AND DESIGNATION OF AGENT FORM(S) WILL NOT BE PROCESSED.

PREVIOUS VERSIONS OF THIS FORM ARE OBSOLETE



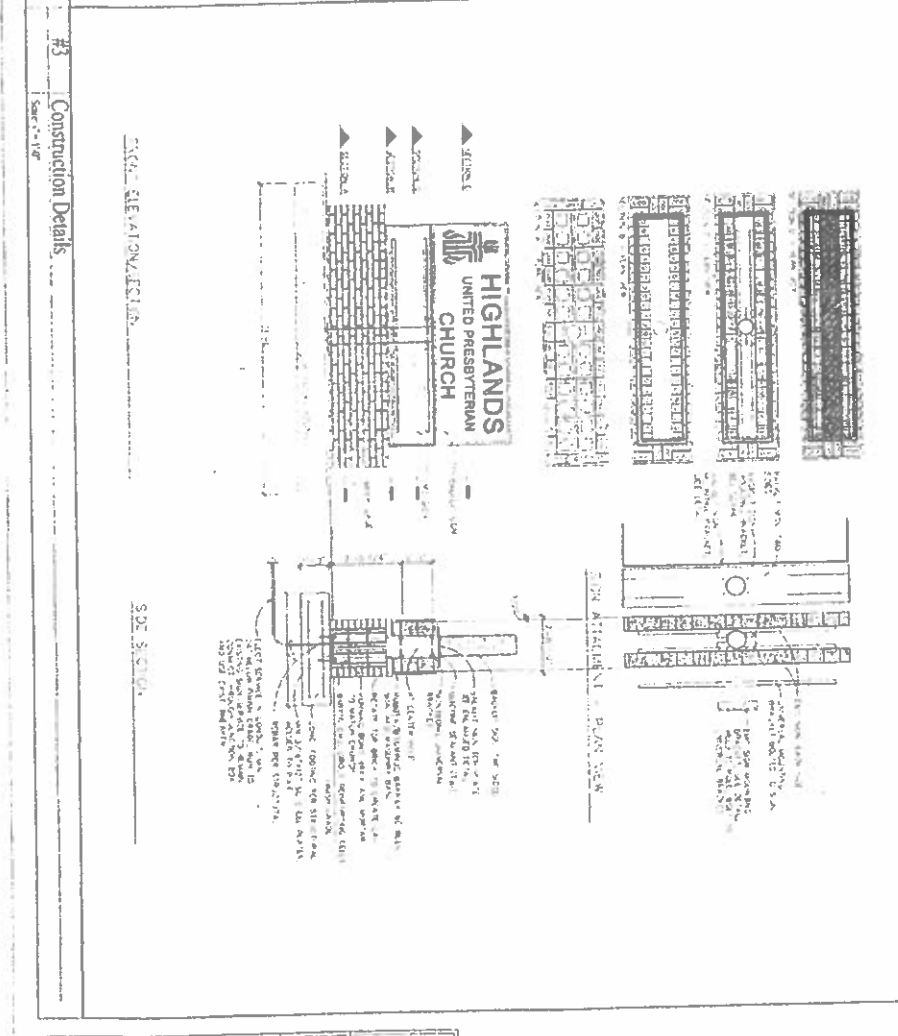
#1 Monument Sign - Front Elevation
Scale: 1/4" = 1'-0"



#2 Monument Sign - Mounting Bracket Details
Scale: 1/4" = 1'-0"

#4 Sign Schedule and Notes
Scale: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	
11	REVISION	
12	REVISION	
13	REVISION	
14	REVISION	
15	REVISION	
16	REVISION	
17	REVISION	
18	REVISION	
19	REVISION	
20	REVISION	



#3 Construction Details
Scale: 1/4" = 1'-0"

Existing Sign

HIGHLANDS PRESBYTERIAN CHURCH
Monument Sign
Construction Detailing

S-2
SHEET 2 of 2

10-402314
REVISED 11-2011
DATE 11-2011

DESIGN SPECIFICATIONS

SOILS: Assume 1/2" clayey sand with 10% silt and 85% sand. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil.

FOUNDATIONS AND FOUNDATIONS:

CONCRETE: Concrete shall be in accordance with ACI 308 and ACI 318. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil.

STEEL:

Steel reinforcement shall be in accordance with ACI 308 and ACI 318. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil.

ANCHOR BOLTS:

Anchor bolts shall be in accordance with ACI 308 and ACI 318. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil.

DESIGN SPECIFICATIONS

ASSUMPTIONS: Assume 1/2" clayey sand with 10% silt and 85% sand. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil.

FOUNDATIONS AND FOUNDATIONS:

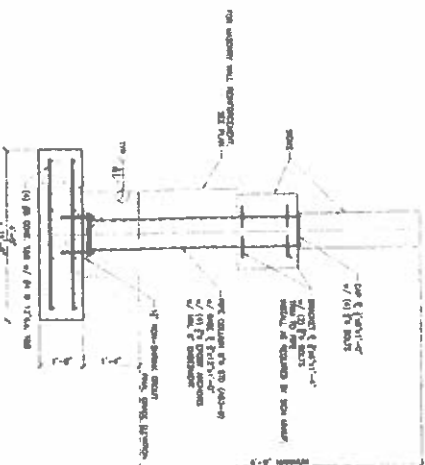
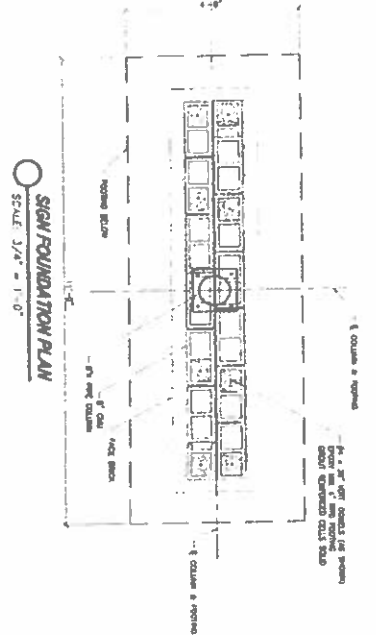
CONCRETE: Concrete shall be in accordance with ACI 308 and ACI 318. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil.

STEEL:

Steel reinforcement shall be in accordance with ACI 308 and ACI 318. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil.

ANCHOR BOLTS:

Anchor bolts shall be in accordance with ACI 308 and ACI 318. The design shall be based on the bearing capacity of the soil. The design shall be based on the bearing capacity of the soil.



DESIGN CRITERIA
 DESIGN CODE: 2017 Florida Building Code of 2008 Supplement
 OCCUPANCY: UNCLASSIFIED (U)
 WIND SPEED: 120 MPH
 WIND EXPOSURE: EXPOSED (E)
 WIND DIRECTION: ALL DIRECTIONS (ALL)
 WIND PROFILES: AS PER ASCE 7-16 (TABLE 6-5)
 WIND EFFECTS: PER ASCE 7-16 (SECTION 6.5)
 WIND PRESSURE COEFFICIENTS: PER ASCE 7-16 (TABLE 6-5)
 WIND UPLIFT: PER ASCE 7-16 (SECTION 6.5)
 WIND BRACING: PER ASCE 7-16 (SECTION 6.5)
 WIND RESISTANCE: PER ASCE 7-16 (SECTION 6.5)

GENERAL NOTES
 1. CONSULT WITH ARCHITECT FOR ALL NOTES AND SPECIFICATIONS.
 2. ALL DESIGN, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS.
 3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CONSTRUCTION SPECIFICATIONS.
 4. MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP ALL DEBRIS AND WASTE.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.

<p>11-056 S-1</p>	<p>SIGN FOUNDATION PLAN & SECTION</p>	<p>MONUMENT SIGN FOUNDATION HIGHLANDS PRESBYTERIAN CHURCH 10900 MCCORMICK ROAD JACKSONVILLE, FLORIDA 32225 CHAD GRIMM STUDIO</p>	<p>Baker Klein ENGINEERING</p>	<p>BAKER KLEIN ENGINEERING, P.L. CERTIFICATE OF AUTHORIZATION # 26227 1334 WALNUT STREET JACKSONVILLE, FL 32206 PHONE: 904-356-8570 FAX: 904-356-8524</p>	<p>TAMARA B. DAVIS, P.E. P.E. LICENSE NO. 90008 DONALD P. HUBBARD, P.E. P.E. LICENSE NO. 90008 BY: [Signature] P.E. LICENSE NO. 90008</p>
	<p>On File</p>				

Prepared for

Highlands United Presbyterian Church

10900 McCormick Road
JACKSONVILLE, FL 32225-1819

Prepared by

Bus Maslin

bmaslin@stewartsigns.com
Office: 1.888.237.3928 x2490, Cell: 941.867.1857

DESCRIPTION

PRICE

Double Sided Full Color Polaris Outdoor LED Sign

\$28,872.00

For larger and higher resolution displays, a separate weather-resistant LED cabinet is top-hinged for easy front access to internal components. Our flagship LED sign.

LED display

- 10.66mm full color at 60 pixels high by 210 pixels wide (12,600 total pixels per side)
- Active display area 2'1" x 7'4" (15.4 square feet per side)
- Double sided LED cabinet, size 2'4" x 7'7"
- 1 to 7 rows of text and use your own images and video clips
- 10-year parts availability guarantee (see warranty for info)
- Entire sign UL Listed and FCC Part 15 compliant



Communication method

Communication provided by cellular modem and LIFETIME Cell Connect data plan.

Sign structure and faces

- Double sided 3' x 8' identification sign cabinet
- TCI® industrial powder coat finish, color: Black
- Graphics digitally printed on 3M™ vinyl and adhered to inside of sign face
- TUFFAK® SL pan-formed faces removable via top retainers
- Single matchplate mount, matchplate hw
- Overall sign height: 5'7"
- Minimum wind load rating: 140mph, exposure C
- Lifetime warranty on structure & faces, including vandalism (see warranty for info)

Endorsed Supplier for the Presbyterian Church (USA).

Electrical specifications

- One 20 amp circuit at 120 volts, Max draw: 11.5 amps

Custom options

- Logo Redraw
- Matchplates
- One Set of Three (3) Florida Engineer Drawings & Calcs, Sealed

Software

SignCommand.com Cloud-based LED Sign Software FREE for the lifetime of the product. Control your sign from anywhere using any device. No monthly fees.

Included

Freight

- Shipping of sign from factory to location

Included

Total: \$28,872.00
+ any applicable sales tax
Payment terms: 50% Down, Balance due 10 days after shipment



On File

Prepared for: Highlands United Presbyterian Church • JACKSONVILLE, FL
Prepared by: Bus Maslin • bmaslin@stewartsigns.com • 1.888.237.3928 x2490

SHIPPING INFORMATION

Invoices

HIGHLAND UNITED PRESBYTERIAN CHURCH
10900 MCCORMICK RD
JACKSONVILLE, FL 32225-1819

All items not specified here will be shipped to:
Highlands United Presbyterian Church
10900 McCormick Road
JACKSONVILLE, FL 32225-1819

Shipping terms: FOB Origin. Storage and other freight services may be added to your invoice should they be required. Unless managed installation services are included, customer is responsible for unloading of sign upon delivery. Signs greater than 6 feet wide are not eligible for lift gate services.

TERMS & CONDITIONS (*unless noted elsewhere in this quote)

TAX: Any applicable sales tax will be added to your invoice. Organizations exempt from sales tax must include exemption certificate with order.

PERMITS: Permits and zoning are the responsibilities of the buyer. Check with your city or county zoning office for proper permitting procedures in your area. Sealed engineer drawings available at additional cost.

INSTALLATION: Installation of footers, erection, electrical service to sign site, electrical hook-up, removal and/or disposal of any existing signage, and any decorative masonry are the responsibilities of the buyer. Managed installation services are available at additional cost.

CANCELLATION: Any cancellation may be subject to cancellation, return, and/or restocking fees. A late fee of 1.5% per month will be charged on any overdue balances. In the event of a payment default, customer will be responsible for all of Stewart Signs' costs of collection, including but not limited to court costs, filing fees and attorney fees.

SUPPORT: US-based phone and internet support are provided FREE for the lifetime of the product. A premier service warranty is available at additional cost.

SOFTWARE: By purchasing the SignCommand.com software product, you are agreeing with the Website Terms of Use (<https://www.signcommand.com/terms>) and Software End User License Agreement (<https://www.signcommand.com/eula>).

COMMUNICATION: Connectivity requires cell service at sign site. Must be within the United States (including Puerto Rico) with 4G LTE coverage shown on the Verizon Coverage Map (<https://www.stewartsigns.com/verizon-map>).

DATA PLAN: By purchasing the Cell Connect Data Plan, you are agreeing with the Data Plan Terms and Conditions (<https://www.signcommand.com/data-plan>).

I have read and understand the Terms & Conditions above.

ORDERING INSTRUCTIONS

1. Review this quote for accuracy. Initial each page of the quote. Sign and date the quote here.
2. Review any corresponding artwork provided with this quote. Check all spelling and colors. Sign and date the artwork.
3. Submit both documents along with your deposit payment to your sign consultant. Speak with your consultant about payment method options.
4. If your organization is sales tax exempt, provide your sales tax exemption certificate with order.

Customer's authorized signature for quote #1034374-1

Bus Maslin, Sign Consultant

Prepared for: Highlands United Presbyterian Church • JACKSONVILLE, FL
Prepared by: Bus Maslin • bmaslin@stewartsigns.com • 1.888.237.3928 x2490

Limited Product Warranty ("Limited Warranty")

Definition of Warranty Coverage:

- 1) Stewart Signs (the "Company") expressly warrants to the original purchaser ("You" or "Buyer" or "Owner" or "Customer") that, for a period of five (5) years from the date of shipment (the "Warranty Period"), the electronic displays and the associated Company products (the "Product") will be reasonably free of material defects in materials and workmanship impacting Product fit, form and/or function. During the Warranty Period, the Company will, at its discretion, repair or replace any defective covered Product. The Owner will be responsible for removing and reinstalling any and all repaired or replacement parts. This Limited Warranty only applies to the Company's Product if installed, used, and maintained in the manner recommended by Company, and this Limited Warranty is conditioned upon compliance with all such instructions. Lifetime telephone support for the Product is provided, as needed.
- 2) In the event the Product is damaged during shipping, it is the responsibility of the Buyer to refuse delivery, causing the Product to be returned to the manufacturer for repair. Title to the Product passes to the Buyer upon the Company's delivery to the freight carrier. The Company assumes no liability for damage caused by careless handling or poor installation, except for work completed by employees of the Company.
- 3) Any information or suggestion by the Company with respect to the Product concerning applications, specifications or compliance with zoning, codes and standards is provided solely for your convenience and without any representation as to accuracy or suitability. You must verify and test the suitability of any information with respect to the Product for your specific application.
- 4) Sign Structure and Sign Face: In the event the sign structure or identification/changeable copy portion of the sign malfunctions under normal use and service thereof DURING THE LIFE OF THE SIGN due to material defects in workmanship or materials, the Company will, at its option, repair or replace any defective materials.
- 5) Vandalism to Sign Faces: This Limited Warranty covers polycarbonate faces against breakage due to vandalism DURING THE LIFE OF THE SIGN. Warranty protection does not extend to these surfaces if damaged by gunshots, or when damaged coincident with damage to the sign cabinet in which the faces are installed. LED panels are also covered from vandalism for the duration of the electronics portion of the Limited Warranty (5 years). Excludes Cornerstone monument signs and other Cornerstone components.
- 6) Failed electronic parts or assemblies will be repaired or replaced, at the sole discretion of the Company. Replacement or repaired parts are warranted to be free from material defects in material or workmanship for ninety (90) days, or for the remainder of the Warranty Period of the Product they are replacing or in which they are installed, whichever is longer.
- 7) The Company will repair failed LED pixels if greater than one quarter of one percent (0.25%) of the total number of pixels in the sign have failed in one (1) calendar year, provided the sign is installed with the recommended ventilation system for its location. The definition of pixel failure is when all LEDs in the pixel will no longer emit light. Pixel repair is performed at the Company Repair Center. It is common knowledge within the sign industry that all LEDs degrade and produce less light as they age. Eventually the LEDs will require replacement even though the LEDs will still emit light. This Limited Warranty does not cover normal LED degradation.
- 8) Customer Obligations:
Failure by the Customer to properly maintain the Product will void coverage for affected components. The Customer shall notify the Company immediately of equipment failure and allow the Company full and free access to the Product when required. Waiver of liability or other restriction shall not be imposed as a site access requirement. The Customer is responsible for all costs and management oversight associated with providing the Company access to the Product, providing the necessary machines, communication facilities and other equipment, inclusive of but not limited to lifting equipment. Should on-site repair be required, Customer is required to have a responsible individual on-site to provide access to the Product as well as sign off on a completed work order.
- 9) Exclusions and Restrictions:
The Company reserves the right to restrict service, limit replacement parts, or invalidate this Limited Warranty to Customers whose account balance is past due.
This Limited Warranty specifically excludes any on-site labor required to service the covered Product, including diagnosis, removal, and installation of parts and/or products. Any on-site service required by the Customer of Company technicians or a local Company-authorized service provider is billable to the Customer based on an agreed-upon written quote.
This Limited Warranty does not apply to software. Software is covered by a separate agreement, which appears in the Company's software license agreement.
ID cabinet LED illumination and power supply are covered for two (2) years, when purchased as a system.
- 10) This Limited Warranty specifically does not cover the following:
 - a) Third-party communication devices such as wireless devices and modems, which are covered by a separate electronic communication warranty. This includes the Ubiquiti wireless radios provided by Stewart Signs, which carry a one (1) year warranty from ship date when purchased with a new sign.
 - b) Damage to Product that has been moved from its original installation location or is mounted in a mobile structure.
 - c) Cosmetic damage to the Product (including but not limited to scratches and dents that do not otherwise affect the fit, form or functionality of the Product or materially impair its use).
 - d) Recovery or transfer of any data or software stored on the Product not originally installed on the Product by the Company.

- 11) This Limited Warranty specifically does not cover conditions, defects or damage caused by or resulting from the following:

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- a) Defects caused by: unreasonable or unintended use of Product; improper or unauthorized handling; accident; omission; neglect; vandalism (unless otherwise noted in this Limited Warranty); misuse; physical abuse; installation, use and/or fabrication, and maintenance of the Product by any party other than the Company.
 - b) Damage (not resulting from manufacturing defects) that occurs while the Product is in the Owner's control and/or possession, unless otherwise noted in this Limited Warranty.
 - c) Extreme physical or electrical stress or interference; environmental conditions beyond the Company's control, such as man-made or naturally occurring salt air/fog, electrochemical oxidation or corrosion and/or metallic pollutants. Also not covered is normal wear and tear; inadequate, improper, or surges of electrical power; lightning, floods, fire, acts of God, war, terrorism, or other external causes, including Force Majeure.
 - d) Unauthorized modification, including installation of third-party software on the Product.
 - e) Product modification or service by anyone other than: (a) the Company, (b) a Company-authorized service provider, or (c) Customer's own installation of Company approved parts with instruction from the Company. Service to damaged or malfunctioning Product which has not been ordered or authorized by the Company's Customer Satisfaction Department is not covered under this Limited Warranty and will automatically invalidate this Limited Warranty.
 - f) Computer viruses, Trojan horses, worms, self-replicating code or like destructive code which was not included in the Product by the Company.
 - g) Products installed with known or visible manufacturing defects at the time of installation.
- 12) The Company will provide and be responsible for the cost of shipping parts from the Company to the Customer, with the exception of sign faces replaced due to vandalism. Standard shipping via the United States Postal Service or other commercial parcel delivery company is the default method of delivery. Expedited delivery is available to the Customer at his or her expense.
- 13) Warranty claims must be registered with the Company within thirty (30) days of damage or malfunction. To register a claim, the Customer must contact the Company at the location specified below and provide (a) his or her name and any other required contact information, (b) Product and purchase descriptions, and (c) the nature of the defect. The Company reserves the right (at its sole discretion) to require proof of original purchase (e.g. paid invoice, receipt) and to visit the site of the installation or to require documentation of the claim before assuming any responsibility under the provisions of this Limited Warranty.
- 14) THE LIMITED WARRANTIES SET FORTH HEREIN ARE THE ONLY WARRANTIES MADE BY THE COMPANY IN CONNECTION WITH THE PRODUCT. THE COMPANY CANNOT AND DOES NOT MAKE ANY IMPLIED OR EXPRESS WARRANTIES WITH RESPECT TO THE PRODUCT, AND DISCLAIMS ALL OTHER WARRANTIES, INCLUDING, BUT NOT LIMITED TO, ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. THE COMPANY'S SOLE OBLIGATION UNDER THIS LIMITED WARRANTY SHALL BE TO REPAIR OR REPLACE MALFUNCTIONING OR DEFECTIVE PARTS OF THE PRODUCT. BUYER ASSUMES ALL RISK WHATSOEVER AS TO THE RESULT OF THE USE OF THE PRODUCT PURCHASED, WHETHER USED SINGULARLY OR IN COMBINATION WITH ANY OTHER PRODUCTS OR SUBSTANCES.
- 15) NO CLAIM BY BUYER OF ANY KIND, INCLUDING CLAIMS FOR INDEMNIFICATION, SHALL BE GREATER IN AMOUNT THAN THE PURCHASE PRICE OF THE PRODUCT WITH RESPECT TO WHICH DAMAGES ARE CLAIMED. IN NO EVENT SHALL COMPANY BE LIABLE TO BUYER IN TORT, CONTRACT OR OTHERWISE, FOR ANY SPECIAL, INDIRECT, INCIDENTAL, CONSEQUENTIAL, RELIANCE, PUNITIVE OR EXEMPLARY DAMAGES, OR FOR LOSS OF PROFIT, REVENUE OR USE, IN CONNECTION WITH, ARISING OUT OF, OR AS A RESULT OF, THE SALE, DELIVERY, SERVICING, USE OR LOSS OF USE OF THE PRODUCT SOLD HEREUNDER, OR FOR ANY LIABILITY THAT BUYER HAS TO ANY THIRD PARTY WITH RESPECT THERETO.

10-Year Parts Guarantee - Stewart Signs provides a 10-year parts guarantee for our LED signage. While hardware can change year over year, we will have available suitable hardware to allow the continued use of your signage for 10-years from the ship date of the sign. Changes in hardware include but are not limited to: visual hardware changes, software changes, or control system upgrades.

Contact Information:

Stewart Signs Customer Satisfaction
2201 Cantu Court, Suite 215
Sarasota, FL 34232
Phone: 855-841-4624
Web:

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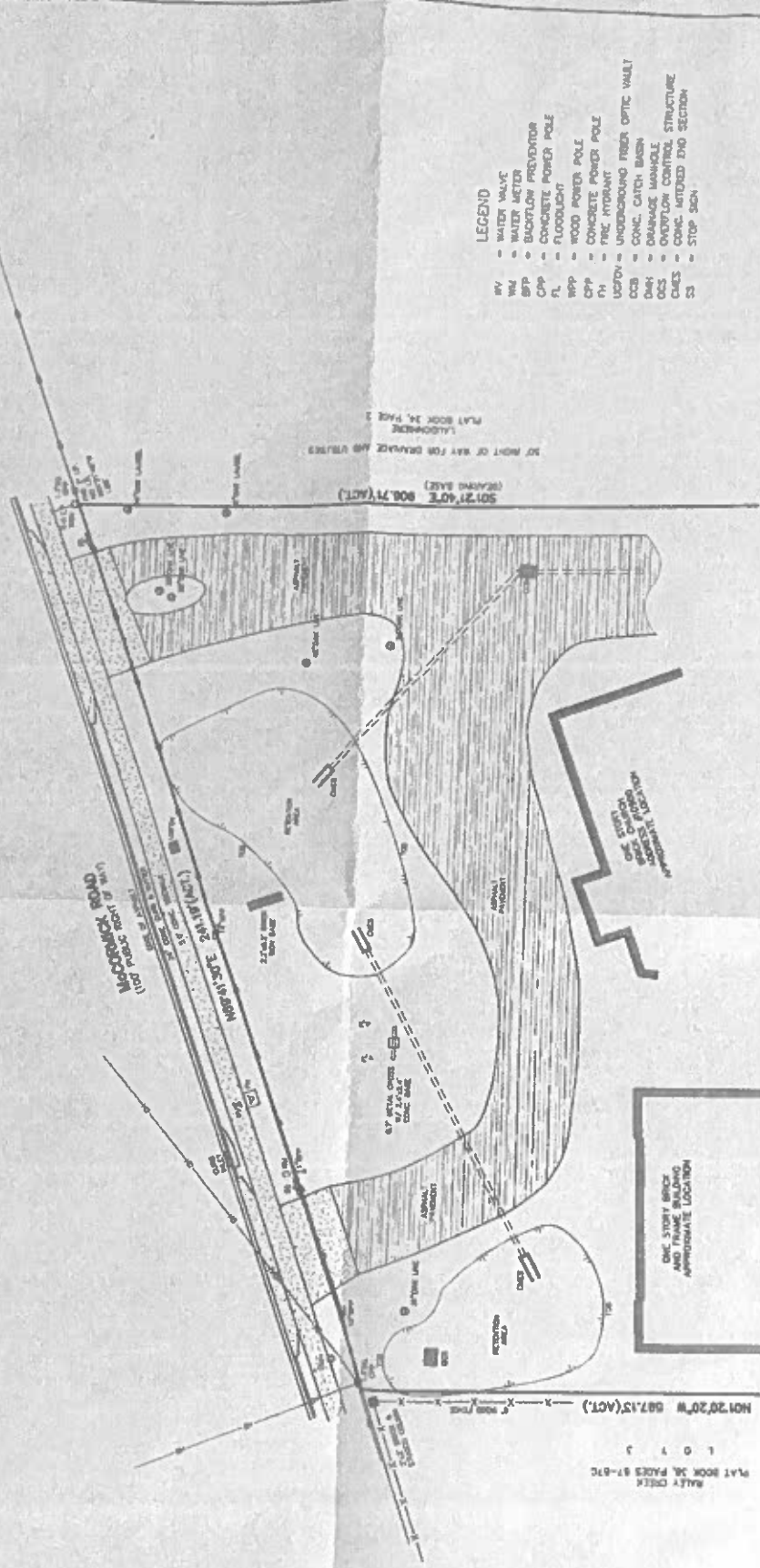








**MAP SHOWING AS-BUILT SURVEY OF
10900 MCCORMICK ROAD JACKSONVILLE, FLORIDA, 32225**
BEING A PART OF LAND LOCATED IN SECTION 5, TOWNSHIP 3 SOUTH, RANGE 25 EAST, DUKE COUNTY, FLORIDA
CERTIFIED TO: NEWMANS UNITED PRESBYTERIAN CHURCH OF JACKSONVILLE



- LEGEND**
- WV - WATER VALVE
 - WM - WATER METER
 - BP - BACKFLOW PREVENTOR
 - CP - CONCRETE POWER POLE
 - FL - FLOODLIGHT
 - WP - WOOD POWER POLE
 - CP - CONCRETE POWER POLE
 - PH - FIRE HYDRANT
 - UOV - UNDERGROUND FIBER OPTIC VALVE
 - CCB - CONC. CATCH BASIN
 - DWB - DRAINAGE WASH BASIN
 - CCS - OVERFLOW CONTROL STRUCTURE
 - CCS - CONC. INTERIOR END SECTION
 - SS - STOP SIGN

ALL AMERICAN SURVEYORS OF FLORIDA, INC.
LAND SURVEYOR - 2571 NW 10TH PLACE, SUITE 10 - JACKSONVILLE, FLORIDA 32207 - LICENSE NO. 12527

THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE FLORIDA SURVEYING ACT, CHAPTER 473, F.S. (PREVIOUSLY CHAPTER 47, F.S.) AND THE RULES OF THE BOARD OF SURVEYING AND MAPPING, FLORIDA, ADOPTED BY THE BOARD OF SURVEYING AND MAPPING, FLORIDA, IN 1987.

DATE: 10/15/2013
BY: J. W. HARRIS, JR.
CHECKED BY: J. W. HARRIS, JR.

THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE FLORIDA SURVEYING ACT, CHAPTER 473, F.S. (PREVIOUSLY CHAPTER 47, F.S.) AND THE RULES OF THE BOARD OF SURVEYING AND MAPPING, FLORIDA, ADOPTED BY THE BOARD OF SURVEYING AND MAPPING, FLORIDA, IN 1987.

THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE FLORIDA SURVEYING ACT, CHAPTER 473, F.S. (PREVIOUSLY CHAPTER 47, F.S.) AND THE RULES OF THE BOARD OF SURVEYING AND MAPPING, FLORIDA, ADOPTED BY THE BOARD OF SURVEYING AND MAPPING, FLORIDA, IN 1987.

DATE: 10/15/2013
BY: J. W. HARRIS, JR.
CHECKED BY: J. W. HARRIS, JR.

RE	LNNAME	MAIL_ADDR1	MAIL_ADDR2	MAIL_CITY	MA_MAIL_ZIP
161201 8088	KIRKPATRICK LORETTA M	2053 MATEFIELD RD		JACKSONVILLE FL	32225
161201 8090	CLARK ROBERT ET AL	2047 MATEFIELD RD		JACKSONVILLE FL	32225
161780 0012	BARTLE MATTHEW	10878 CREEKVIEW DR		JACKSONVILLE FL	32225
161201 8092	TADENA RYAN G	2041 MATEFIELD RD		JACKSONVILLE FL	32225
161201 8086	TRAVIS FAMILY TRUST	2061 MATEFIELD RD		JACKSONVILLE FL	32225
161780 0030	BATES KENNETH A	10966 CREEKVIEW DR		JACKSONVILLE FL	32224
161780 0022	PHU UEM BINH	6612 PINE SUMMIT DR		JACKSONVILLE FL	32211
161780 0010	LOWE JAMES E II	10870 CREEKVIEW DR		JACKSONVILLE FL	32225-2309
161780 0002	RIGGAN DONALD G	10883 CREEKVIEW DR		JACKSONVILLE FL	32225
161230 0240	** CONFIDENTIAL **	2061 CHALLEUX DR W		JACKSONVILLE FL	32225-2306
161230 0220	SMEDLEY JUDY A	1801 HOLLY OAKS RAVINE DR		JACKSONVILLE FL	32225
161201 8002	JACKSONVILLE ELECTRIC AUTHORITY	225 N PEARL ST		JACKSONVILLE FL	32202
161765 0000	REYES GREGORY	1853 HOLLY OAKS RAVINE DR		JACKSONVILLE FL	32225-2211
161207 0000	JACKSONVILLE ELECTRIC AUTHORITY	225 N PEARL ST		JACKSONVILLE FL	32202
161201 8096	COULSON AMY L ET AL	2058 MATEFIELD RD		JACKSONVILLE FL	32225-1549
161764 0000	LEWIS TED R	1867 HOLLY OAKS RAVINE DR		JACKSONVILLE FL	32225-2211
161780 0024	LUTEN CINDI B	10942 CREEKVIEW DR		JACKSONVILLE FL	32225
161780 0306	RIVEN RODNEY	10977 CREEKVIEW DR		JACKSONVILLE FL	32225-2312
161230 0190	OPENDOOR PROPERTY TRUST I	410 N SCOTTSDALE RD STE 1600		TEMPE AZ	85281
161228 0030	CITY OF JACKSONVILLE	C/O REAL ESTATE DIVISION	214 N HOGAN ST 10TH FL	JACKSONVILLE FL	32202
161780 0018	WHITE JOYCE M	10918 CREEKVIEW DR		JACKSONVILLE FL	32225-2311
161230 0210	LYONS WILFORD D	2009 W CHALLEUX DR		JACKSONVILLE FL	32225
161780 0020	BASS GORDON AJR	10926 CREEKVIEW DR		JACKSONVILLE FL	32225-2311
161201 8068	JOAN OF ARC FL LLC	853 BROADWAY FL 5		NEW YORK NY	10003
161207 0100	FLORIDA DEPARTMENT OF TRANSPORTATION	1109 S MARION AVE		LAKE CITY FL	32025-5874
161780 0014	WEST THADDEUS W	10886 CREEKVIEW DR		JACKSONVILLE FL	32225
161780 0004	NELSON RICHARD T LIFE ESTATE	10873 CREEKVIEW DR		JACKSONVILLE FL	32225-2310
161230 0180	SCOTT EDWARD A ET AL	10924 CHALLEUX DR S		JACKSONVILLE FL	32225-2300
161220 0000	HIGHLANDS UNITED PRESBYTERIAN CHURCH OF JACKSONVIL	10900 MC CORMICK ST		JACKSONVILLE FL	32225-1819
161230 0040	SPARROW CABENA B	2020 CHALLEUX DR W		JACKSONVILLE FL	32225
161775 0000	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION	1109 S MARION AVE		LAKE CITY FL	32025
161780 0308	KLICKEK KENNETH L LIFE ESTATE	10969 CREEKVIEW DR		JACKSONVILLE FL	32225
161201 8066	PAULUS CARYL LEE ET AL	C/O CARYL LEE PAULUS	10938 PUTNEY CT	JACKSONVILLE FL	32225-1553
161766 0000	EDWARDS JAMES V	1841 HOLLY OAKS RAVINE DR		JACKSONVILLE FL	32225-2211
161230 0200	CANNIZZIO DEANN R	10908 CHALLEUX CT		JACKSONVILLE FL	32225
161780 0006	BUDNIK YELENA	10865 CREEKVIEW DR		JACKSONVILLE FL	32225-2310
161202 0010	BURNES DANA A	1945 HOLLY OAKS RAVINE DR		JACKSONVILLE FL	32225-2213
161225 0000	MARTEL CHAD RYAN	10855 FORT CAROLINE RD		JACKSONVILLE FL	32225

161230 0250	MASON LILLIAN E	2081 CHALLEUX DR W	JACKSONVILLE FL	32225-2306
161763 0000	HOPPER ALAN THOMAS SR	317 CANDLEBARK DR	JACKSONVILLE FL	32225
161230 0030	FOX JOHN J	2046 CHALLEUX DR W	JACKSONVILLE FL	32225-2307
161780 0028	SOLOMON JONATHAN NICHOLAS	10958 CREEKVIEW DR	JACKSONVILLE FL	32225
161780 0026	PROGRESS RESIDENTIAL BORROWER 9 LLC	P O BOX 4090	SCOTTSDALE AZ	85261
161780 0016	BRIDGES PATRICIA K LIFE ESTATE	10894 CREEKVIEW DR	JACKSONVILLE FL	32225
161201 8070	FINE LORI E	10926 PUTNEY CT	JACKSONVILLE FL	32225-1553
161230 0230	HUSSEIN SOBHI Y	2039 CHALLEUX DR W	JACKSONVILLE FL	32225-2306
161201 8094	WEHLAUCH WALTER J	2050 MATEFIELD RD	JACKSONVILLE FL	32225-1549
161221 0000	ESCOBAR JOSE	10843 FT CAROLINE RD	JACKSONVILLE FL	32225
	TIM KELLEY - GREATER ARLINGTON / BEACHES	2184 HEALTH GREEN PL S	JACKSONVILLE FL	32246
	LAD HAWKINS - GREATER ARLINGTON CIVIC COUNCIL	PO BOX 8283	JACKSONVILLE FL	32239
	LAD HAWKINS - COMMUNITES OF EAST ARLINGTON	1924 W HOLLY LAKE RD	JACKSONVILLE FL	32225
	BRADLEY P. RICHARDS- CAROLINE COVE OWNERS ASSOC	PO BOX 351086	JACKSONVILLE FL	32225
	REBECCA JOHNSON - FOBT PIPELINE INC.	10964 RALEY CREEK DR S	JACKSONVILLE FL	32225

Duval County, City Of Jacksonville Jim Overton , Tax Collector

231 E. Forsyth Street
Jacksonville, FL 32202

General Collection Receipt

Account No: CR763101
User: Kelly, Sean - PDDS

Date: 2/12/2025
Email: SKELLY@coj.net

REZONING/VARIANCE/EXCEPTION

Name: Thomas E. Sweeney (Agent) / David N. Rollins (Owner)
Address: 11308 Oaks Landings Drive Jacksonville FL 32225
Description: 161220-0000 / Sign Waiver to allow CMD Internal Illumination and reduce required front yard from 20' to 10' Highlands United Presbyterian Church - 10900 McCormick Road

Fund	Center	Account	Project	Activity	Interfund	Future	Debit Amount	Credit Amount
00111	000000	104001	000000	00000000	00000	0000000	1497.00	0.00
00111	140302	342218	000000	00000000	00000	0000000	0.00	1497.00

Jim Overton
Duval County

Date Time: 02/18/2025 10:37AM
Drawer: P66
Clerk: JMH
Transaction: 7144745

Item Paid
CR Processing: \$1,497.00
CR763101
Thomas E. Sweeney (Agent)
/ David N. Rollins
(Owner)
11308 Oaks Landings Drive
Jacksonville FL 32225
Total: \$1,497.00

Total Due: \$1,497.00

Jim Overton , Tax Collector General Collections Receipt of Jacksonville, Duval County

Receipt: 272-26-00132732
Total Assessed: \$1,497.00
Check: \$1,497.00
Check#41920
Balance: \$0.00

Date: 2/12/2025

Paid By: HIGHLANDS UNITED
PRESBYTERIAN CHURCH

Thomas E. Sweeney (Agent) / David N. Rollins (Owner)
8 Oaks Landings Drive Jacksonville FL 32225
161220-0000 / Sign Waiver to allow CMD Internal Illumination and reduce required front yard from 20' to 10'
Highlands United Presbyterian Church - 10900 McCormick Road

Total Due: \$1,497.00