

Date Submitted: 7/17/23
 Date Filed: 7/24/23

Application Number: WLD-23-13
 Public Hearing:

Application for Waiver of Minimum Distance Requirements for Liquor License Location

City of Jacksonville, Florida

Planning and Development Department

COMPANION APPLICATION / WLD-23-13
 E-23-51

Please type or print in ink. Instructions regarding the completion and submittal of this application are located at the end of this form. For additional information, please contact the Planning and Development Department at (904) 255-7865.

For Official Use Only	
Current Zoning District: C CG 1	Current Land Use Category: CG C
Council District: 7	Planning District: CG C 5
Previous Zoning Applications Filed (provide application numbers): W-12-8 E-12-18, D-1 424, E-1 42, W-19-14, E-19-3 4	
Applicable Section of Ordinance Code: 656.805 (d)	
Notice of Violation(s): NA	
Neighborhood Associations: RIVERSIDE ANDALE RES ERVATA / PUBLIC NA ASSOC.	
Overlay: RIVERSIDE A / OVERLAY COMP. #551+1173	
Number of Signs to Post: 1	Amount of Fee: \$552724 - Zoning Asst. Initials: [Signature]

PROPERTY INFORMATION	
1. Complete Property Address: 2695 Post St. Jacksonville, FL 32204	2. Real Estate Number: 064199-0010
3. Land Area (Acres): .07	4. Date Lot was Recorded:
5. Property Located Between Streets: King & Acosta St	6. Utility Services Provider: City Water / City Sewer <input checked="" type="checkbox"/> Well / Septic <input type="checkbox"/>
7. Waiver Sought: Reduce Required Minimum Distance between liquor license location and church or school from 1500 feet to 1215 feet.	
8. In whose name will the Waiver be granted? Colab cafe llc	

OWNER'S INFORMATION (please attach separate sheet if more than one owner)	
9. Name: Brewzstead LLC	10. E-mail: george@thevolsteadjax.com
11. Address (including city, state, zip): 465 W 71st st Jacksonville, FL 32208	12. Preferred Telephone: 904-327-5678

APPLICANT'S INFORMATION (if different from owner)	
13. Name: Colab cafe llc	14. E-mail: raymond@localretreats.com
15. Address (including city, state, zip): 2695 Post St. Jacksonville, FL 32204	16. Preferred Telephone: 904-327-3616

CRITERIA
<p>Section 656.101(l), Ordinance Code, defines a waiver as "a relaxation of the Zoning Code minimum distance requirements for liquor license locations, pursuant to Section 656.805, Ordinance Code."</p> <p>Section 656.133(a)1 through 5, Ordinance Code, provides that, with respect to action upon Applications for Waivers, the Planning Commission may grant a waiver for minimum distance requirements from a church or school for a liquor license location, if there exist one or more circumstances which negate the necessity for compliance with the distance requirements, included but not limited to the following:</p> <ol style="list-style-type: none"> 1. <i>The commercial activity associated with the alcoholic beverage use is of a lesser intensity than the commercial activity associated with the alcoholic beverage use which previously existed; e.g., there has been a reduction in the number of seats or square footage or type of license;</i> 2. <i>The alcoholic beverage use is designed to be an integral part of a mixed planned unit development;</i> 3. <i>The alcoholic beverage use is located within a shopping center with an aggregate gross leasable area of 50,000 square feet or more, inclusive of all outparcels, and meets the definition of a bona-fide restaurant as defined in Section 656.805(c);</i> 4. <i>The alcoholic beverage use is not directly visible along the line of measurement defined in Section 656.806 and is physically separated from the church or school, thereby negating the distance requirement as a result of the extra travel time; or</i> 5. <i>There are other existing liquor license locations of a similar nature in the immediate vicinity of the proposed location; provided however, that no waiver shall be granted pursuant to this criterion if the proposed liquor license location is closer to the church or school than other existing locations.</i>

17. Given the above definition of a "waiver" and the aforementioned criteria by which the request will be reviewed against, please describe the reason that the waiver is being sought. Provide as much information as you can; you may attach a separate sheet if necessary. Please note that failure by the applicant to adequately substantiate the need for the request and to meet the criteria set forth may result in a denial.

The alcoholic beverage use is not directly visible along the line of measurement defined in section 656.806 and is physically separated from the church or school, thereby negating the distance requirement as a result of the extra travel time.

ATTACHMENTS

The following attachments must accompany each copy of the application.

- Survey
- Site Plan – two (2) copies on 8 ½ x 11 and two (2) copies on 11 x 17 or larger
- Property Ownership Affidavit (Exhibit A)
- Agent Authorization if application is made by any person other than the property owner (Exhibit B)
- Legal Description – may be written as either lot and block, or metes and bounds (Exhibit 1)
- Proof of property ownership – may be print-out of property appraiser record card if individual owner, http://apps.coj.net/pao_propertySearch/Basic/Search.aspx, or print-out of entry from the Florida Department of State Division of Corporations if a corporate owner, <http://search.sunbiz.org/Inquiry/CorporationSearch/ByName>.

FILING FEES

*Applications filed to correct existing zoning violations are subject to a double fee.

Base Fee

Non-residential Districts: \$1,091.00

Public Notices

\$7.00 per Addressee

Advertisement

Billed directly to owner/agent

AUTHORIZATION

Please review your application. No application will be accepted until all of the requested information has been supplied and the required fee has been paid. The acceptance of an application as being complete does not guarantee its approval by the Planning Commission. The owner and/or authorized agent must be present at the public hearing.

The required public notice signs must be posted on the property within five (5) working days after the filing of this application. Sign(s) must remain posted and maintained until a final determination has been made on the application.

I hereby certify that I have read and understand the information contained in this application, that I am the owner or authorized agent for the owner with authority to make this application, and that all of the information contained in this application, including the attachments, is true and correct to the best of my knowledge.

Owner(s)

Print name: George J Cunningham

Signature: [Signature]

Applicant or Agent (if different than owner)

Print name: Raymond De Padua

Signature: [Signature]

Owner(s)

Print name: _____

Signature: _____

**An agent authorization letter is required if the application is made by any person other than the property owner.*

SUBMITTAL

This application must be typed or printed in ink and submitted along with three (3) copies for a total of **four (4) applications**. Each application must include **all required attachments**.

Submit applications to:

Planning and Development Department, Zoning Section

214 North Hogan Street, 2nd Floor

Jacksonville, Florida 32202

(904) 255-8300

EXHIBIT A

Property Ownership Affidavit – Limited Liability Company (LLC)

Date: April 17th 2023

City of Jacksonville
Planning and Development Department
214 North Hogan Street, Suite 300,
Jacksonville, Florida 32202

Re: Property Owner Affidavit for the following site location in Jacksonville, Florida:
Address: 2695 Post St. Jacksonville, FL 32204 RE#(s): 064199-0010

To Whom it May Concern:

I, George J Cunningham, as owner of Brewzstead, a Limited Liability Company organized under the laws of the state of Florida, hereby certify that said LLC is the Owner of the property described in Exhibit 1 in connection with filing application(s) for zoning exception & liquor distance waiver submitted to the Jacksonville Planning and Development Department.

(signature) [Handwritten Signature]
(print name) George Cunningham

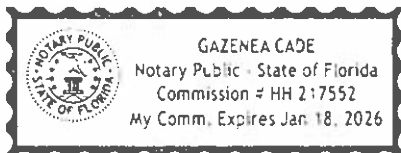
Please provide documentation illustrating that signatory is an authorized representative of the LLC. This may be shown through a printout from sunbiz.org showing that the person is either a "sole member" or a "managing member." Other persons may be authorized through a resolution, power of attorney, etc.

**STATE OF FLORIDA
COUNTY OF DUVAL**

Sworn to and subscribed and acknowledged before me this 17th day of April 2023 by George Cunningham, as owner of Brewzstead, a Limited Liability Company, who is personally known to me or who has produced driver's license as identification and who took an oath.

[Handwritten Signature: Hazemna Cade]
(Signature of NOTARY PUBLIC)

Hazemna Cade
(Printed name of NOTARY PUBLIC)



State of Florida at Large. 01/18/2026
My commission expires: 01/18/2026

EXHIBIT B

Agent Authorization – Limited Liability Company (LLC)

Date: April 17th 2023

City of Jacksonville
Planning and Development Department
214 North Hogan Street, Suite 300,
Jacksonville, Florida 32202

Re: Agent Authorization for the following site location in Jacksonville, Florida:
Address: 2695 Post St. Jacksonville, FL 32204 RE#(s): 064199-0010

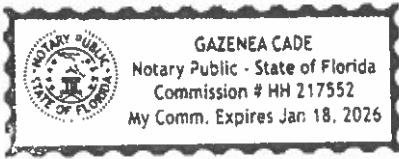
To Whom It May Concern:

You are hereby advised that George J Cunningham, as Owner of Brewzstead, a Limited Liability Company organized under the laws of the state of Florida, hereby certify that said LLC is the Owner of the property described in Exhibit 1. Said owner hereby authorizes and empowers Colab cafe llc to act as agent to file application(s) for zoning exception/liquor license distance waiver for the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change as submitted to the Jacksonville Planning and Development Department.

(signature) [Handwritten Signature]
(print name) George J Cunningham

STATE OF FLORIDA
COUNTY OF DUVAL

Sworn to and subscribed and acknowledged before me this 17th day of April 2023, by George J Cunningham, as owner of Brewzstead, a Limited Liability Company, who is personally known to me or who has produced Driver License as identification and who took an oath.



[Handwritten Signature]
(Signature of NOTARY PUBLIC)
GAZENEA CADE
(Printed name of NOTARY PUBLIC)

State of Florida at Large.
My commission expires: 01/18/2026

Prepared by:
Beaches Title Services, LLC,
11437 Central Parkway - Suite 102
Jacksonville, Florida 32224

Consideration \$508,000.00

Corporate Warranty Deed

This Deed , April 5, 2019 A.D.

Between

Dahlia's Pour House LLC, a Florida limited liability company whose post office address is: 2695 Post St, Jacksonville, Florida 32204 , Grantor and **Brewzstead LLC, a Florida limited liability company** whose post office address is: 115 W Adams St, Jacksonville, Florida 32202, Grantee,

Witnesseth, that the said Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), to it in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee forever, the following described land, situate, lying and being in the County of Duval, State of Florida, to wit:

A part of Lot 6, Block 6, New Riverside, according to the map or plat thereof, as recorded in Plat Book 3, Page 54, of the Public Records of Duval County, Florida, more particularly described as follows:
Begin at an iron at the Southeast corner of said Lot 6; thence Westerly along the North line of Post Street, a distance of 40.8 feet to a point; thence Northwesterly parallel to the Northerly line of said Lot 6, a distance of 75.8 feet to an iron; thence Easterly parallel to the Northwesterly line of said Lot 6, a distance of 34.8 feet to an iron in the Northeasterly line of said Lot 6; thence Southeasterly 97.5 feet along the Northeasterly line of said Lot 6, to the Point of Beginning.

This conveyance and the foregoing warranties are subject to advalorem taxes levied or which may become a lien subsequent to December 31 of the calendar year next prededing the date hereof, and to any rules, regulations, and subdivision, zoning, planning or platting ordinances, if any, affecting the property, promulgated by state, county, municipal or other authorities, in effect at the time of this conveyance. The references to lawful claims, if any, of third persons contained herein are made for the .exclusive purpose of exceptions from the Grantor's warranty herein, and no reference or recital herein contained shall operate to enlarge, recognize, ratify, review or confirm rights, if any, of third person.

Parcel Identification Number: **064199-0010**

And the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer and caused its corporate seal to be affixed the day and year first above written.

Dahlia's Pour House LLC, a Florida limited liability company

Signed and Sealed in Our Presence:

By: Andrea D. Koralewski
Andrea D. Koralewski
Its: Manager

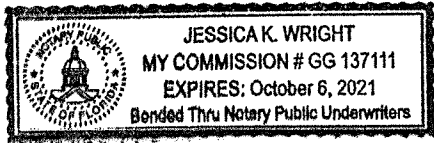
Keynote
Witness Print Name: Keynote

Jessica K Wright
Witness Print Name: Jessica K Wright

(Corporate Seal)

State of Florida
County of Duval

The foregoing instrument was acknowledged before me this 28 day of March, 2019, by Andrea D. Koralewski, the Manager of Dahlia's Pour House LLC a Florida limited liability company. She is personally known to me or has produced FDL as identification.



[Signature] (Seal)
Notary Public
Notary Printed Name: _____
My Commission Expires: _____

File Number: 1021-290

**Electronic Articles of Organization
For
Florida Limited Liability Company**

**L19000056585
FILED 8:00 AM
February 26, 2019
Sec. Of State
rekemple**

Article I

The name of the Limited Liability Company is:
BREWZSTEAD LLC

Article II

The street address of the principal office of the Limited Liability Company is:
2695 POST S
JACKSONVILLE, FL. 32204

The mailing address of the Limited Liability Company is:
115 W ADAMS ST
JACKSONVILLE, FL. 32202

Article III

Other provisions, if any:
PURPOSE IS TO HOLD REAL PROPERTY.

Article IV

The name and Florida street address of the registered agent is:
GEORGE J CUNNINGHAM
115 W ADAMS ST
JACKSONVILLE, FL. 32202

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent.

Registered Agent Signature: GEORGE J CUNNINGHAM

Article V

The name and address of person(s) authorized to manage LLC:

Title: MGR
GEORGE J CUNNINGHAM
115 W ADAMS ST
JACKSONVILLE, FL. 32202

L19000056585
FILED 8:00 AM
February 26, 2019
Sec. Of State
rekemple

Article VI

The effective date for this Limited Liability Company shall be:

02/26/2019

Signature of member or an authorized representative

Electronic Signature: GEORGE J CUNNINGHAM

I am the member or authorized representative submitting these Articles of Organization and affirm that the facts stated herein are true. I am aware that false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s.817.155, F.S. I understand the requirement to file an annual report between January 1st and May 1st in the calendar year following formation of the LLC and every year thereafter to maintain "active" status.

ARCHITECT - A2018490
CRAGA SOMMERS, AIA

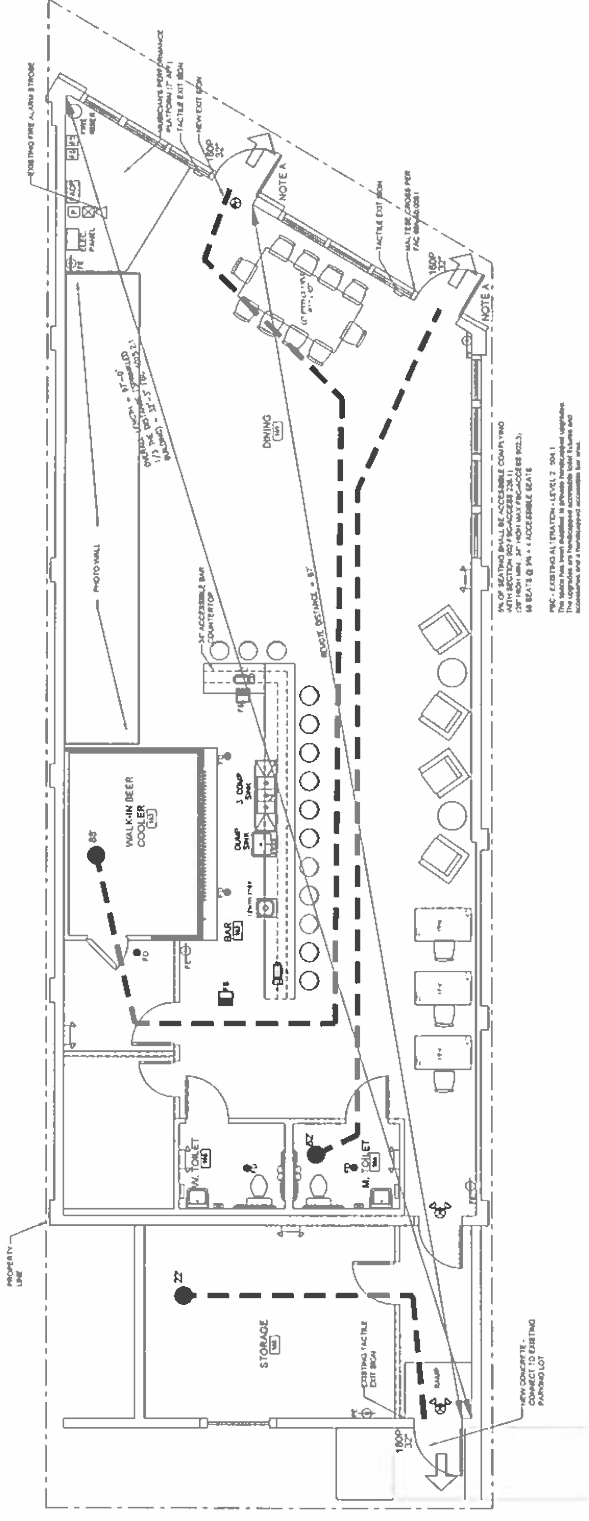
DOHERTY SOMMERS ARCHITECTS ENGINEERS, INC.
 310 15th Ave S, Suite A & B
 Jacksonville Beach, FL 32250
 904 241 0561
 www.dsae.com
 Florida License No.: AA2500952

INTERIOR REMODEL
COLAB CAFE
 2695 POST STREET
 JACKSONVILLE, FL 32204

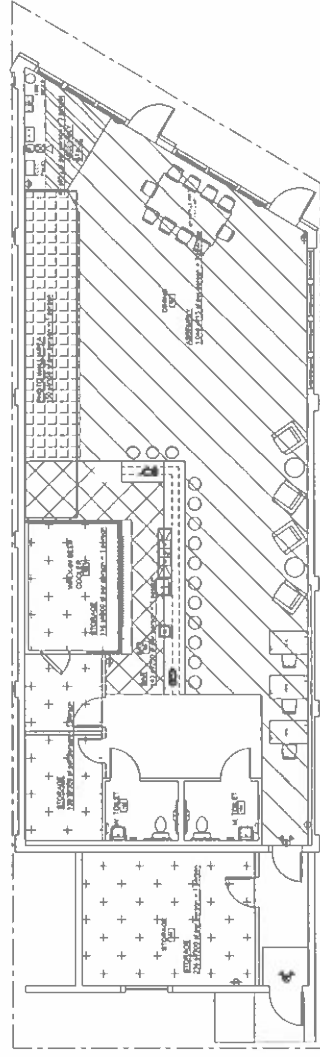
NO.	DATE	REVISION

SHEET TITLE: LIFE SAFETY PLAN
 DRAWN BY: CAS
 CHECKED BY: CAS
 DATE: 05-05-2023

SHEET
G-2

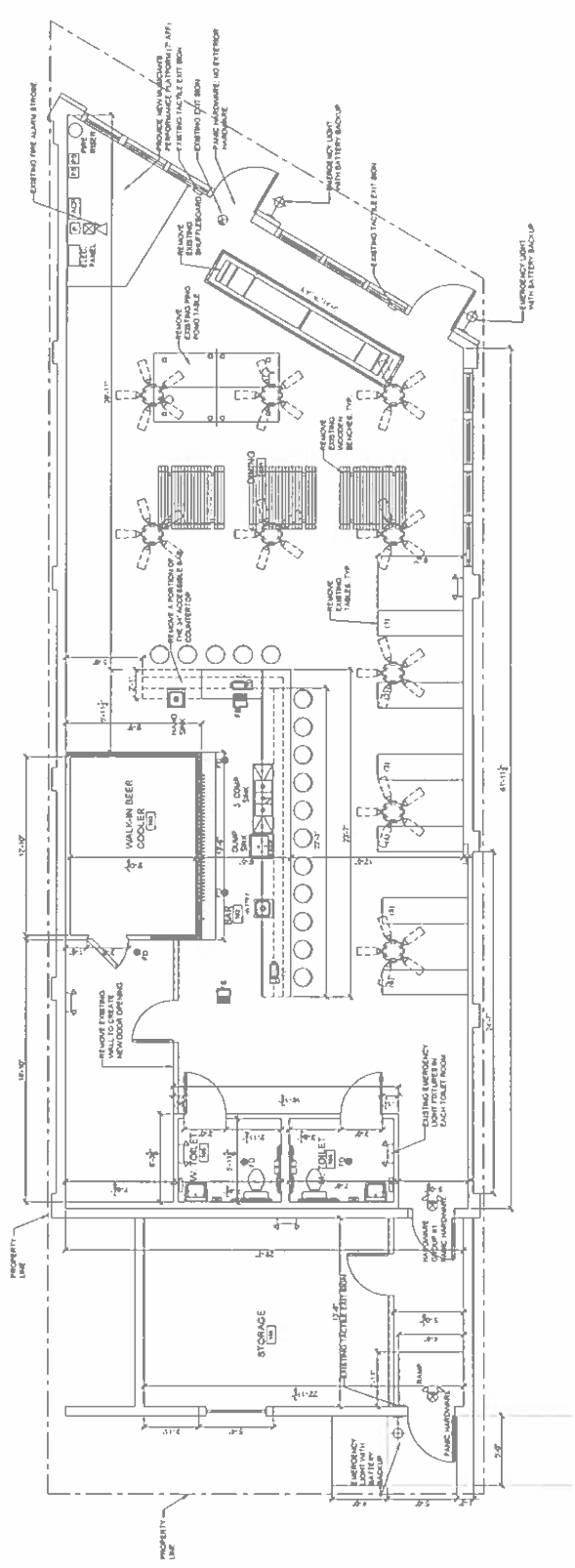


LIFE SAFETY PLAN
 SCALE: 1/4" = 1'-0"



SHEET TITLE: EXISTING FLOOR PLAN	
NO.	REVISION

DRAWN BY:	CAS
CHECKED BY:	CAS
DATE:	05-05-2023



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

- NOTES**
1. PROVIDE FIREBLOCKING AND DRAFTSTOPPING IN PARTITIONS PER IBC 717. PROVIDE FIREBLOCKING IN CONCEALED WALL SPACES AND AT WALL PENETRATIONS. PROVIDE FIREBLOCKING IN CONCEALED WALLS AND HORizontally AT INTERVALS NOT EXCEEDING 10' (IBC 717.2.2). SEE IBC 717.2. FOR FIREBLOCK AND MATERIAL OPTIONS.
 2. EXPOSED WALKWAY SURFACE SHALL HAVE 1/4" PLATE GROUND SURFACES OF NOT MORE THAN 26 AND A SLOPE DEVELOPED IN LINE OF NOT MORE THAN 50 AS DETERMINED IN ACCORDANCE WITH ASTM E 114.
 3. CONCEALED INSULATION DETAILS SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPED RATING OF NOT MORE THAN 50 AS DETERMINED IN ACCORDANCE WITH ASTM E 114.
 4. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AROUND PLUMBING FIXTURES AND WALLS TO RECEIVE CERAMIC TILE.
 5. PROVIDE FIRE RESISTANT WOOD BLOCKING IN WALLS AS REQUIRED TO SUPPORT TOILET ROOM FIXTURES, ACCESSORIES, SHELVES & CABINETS, WALL MOUNTED TELEVISIONS AND FIRE EXTINGUISHERS. COORDINATE LOCATION OF CEILING & WALL MOUNTED TELEVISIONS WITH TENANT FURNITURE.
 6. PROVIDE R-11 BOUND ATTENUATION BATT AROUND THE TOILET ROOM.

INTERIOR CONCRETE SLAB INSTALLATION NOTES:

1. #4 1" DIA @ 12" O.C. W/IN THE EXISTING SLAB AND #4 IN THE NEW SLAB - TRENCHES LESS THAN 12" DO NOT REQUIRE DOWELS. TRENCHES LESS THAN 24" SHALL HAVE DOWELS @ 36" O.C. ON EACH SIDE OF THE TRENCH. THE DOWELS SHALL BE WELDED TO ALL BARS IN A TRENCH. ALL TRENCHES SHALL BE COVERED WITH A 3/4" DIA. @ 36" O.C. ON EACH SIDE OF THE TRENCH.
2. NEW CONCRETE SHALL BE 3000 PSI (COMPRESSIVE STRENGTH) WITH A 1.5 : 1 : 2.5 (W/C) RATIO. CONCRETE SHALL BE COMPACTED WITH 12" DIA. POWER TAMPING.

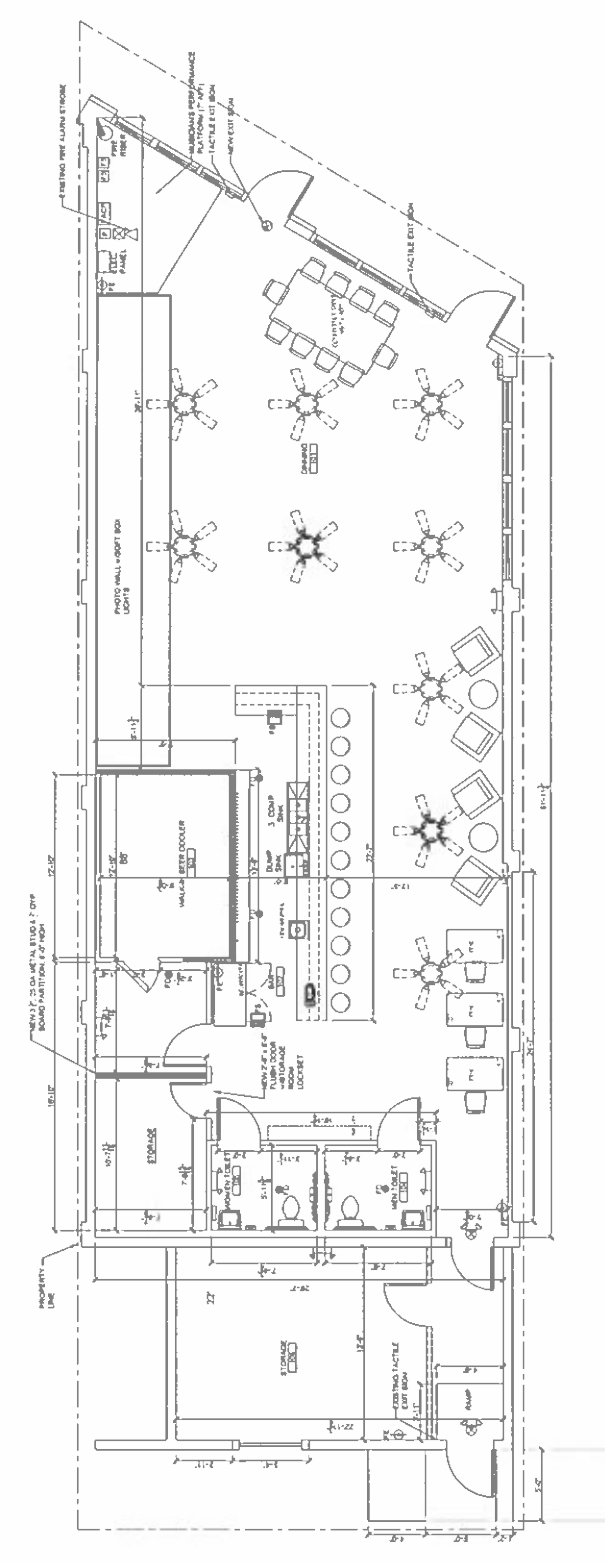
THIS DOCUMENT IS THE PROPERTY OF CRACK A. SOMMERS, AIA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CRACK A. SOMMERS, AIA.

ARCHITECT - AD016400
 GRAEF SOMMERS, AN
 ARCHITECTS ENGINEERS, INC.
 270 15th Ave S, Suite 500
 Jacksonville, FL 32202
 Phone: (904) 488-3000
 Fax: (904) 488-3001
 Florida License No.: AC2000952

INTERIOR REMODEL
COLAB CAFE
 2695 POST STREET
 JACKSONVILLE, FL 32204

NO.	DATE	REVISION

SHEET TITLE: NEW FLOOR PLAN
 DRAWN BY: C-A-S
 CHECKED BY: C-A-S
 DATE: 06-05-2023
SHEET A-2



FINISHES:
 PROVIDE MOSTURE RESISTANT GYPSUM WALLBOARD (ASTM) ON WALLS IN WASH-DOWN AND WET AREAS. COORD W/OWNER'S REP TO PROVIDE TILE BACKER BOARD (OR EQUAL) ON WALLS TO RECEIVE CERAMIC TILE (ASTM C110).
 PROVIDE GYPSUM BOARD ON CEILING TO RECEIVE GYPSUM BOARD INSTALLATION. PROVIDE CERAMIC TILE (ASTM C110) ON CEILING TO RECEIVE GYPSUM BOARD INSTALLATION. PROVIDE CERAMIC TILE (ASTM C110) ON CEILING TO RECEIVE GYPSUM BOARD INSTALLATION. PROVIDE CERAMIC TILE (ASTM C110) ON CEILING TO RECEIVE GYPSUM BOARD INSTALLATION.
 PROVIDE A GYPSUM BOARD ACCESSORIES AS REQUIRED. ACUSTIC REFLUANT CORNER BRACKETS (TRIM) (ADA) 2" JOINT MATERIALS TO RECEIVE GYPSUM BOARD FINISHES.
 LEVEL 1 - GYPSUM BOARD ACCESSORIES AS REQUIRED.
 LEVEL 2 - GYPSUM BOARD ACCESSORIES AS REQUIRED.
 LEVEL 3 - WALLS EXPOSED TO VIEW.
 LEVEL 4 - CEILING EXPOSED TO VIEW.
 LEVEL 5 - SPECIAL WALLS TO RECEIVE WRITING SURFACE (COORD ANY LOCATIONS OF LEVEL 5 FINISH WALLS (WOMEN))
 INSULATION
 PROVIDE 2" ACoustical INSULATION (ASTM) OVER ALL EXTERIOR WALLS AND PARTITIONS AS NOTED ON THE WALL TYPE SCHEDULE. INSULATION SHALL BE PROTECTED AGAINST FRICTION FROM INTERIOR FINISHES AS NOTED ON PLANS AND SECTIONS. BATT INSULATION SHALL HAVE FLAME RESISTANCE PROPERTIES AS NOTED ON PLANS AND SECTIONS. BATT INSULATION SHALL HAVE FLAME RESISTANCE PROPERTIES AS NOTED ON PLANS AND SECTIONS.
 FRAMING MATERIALS
 STUDS AND TRIMMER (ASTM) C110, GA-216, GA-4001 SHALL BE GALVANIZED SHEET STEEL, 2x6 @ 16" OC, 2x8 @ 12" OC, 2x10 @ 12" OC. STUDS AND TRIMMER SHALL BE GALVANIZED SHEET STEEL, 2x6 @ 16" OC, 2x8 @ 12" OC, 2x10 @ 12" OC. STUDS AND TRIMMER SHALL BE GALVANIZED SHEET STEEL, 2x6 @ 16" OC, 2x8 @ 12" OC, 2x10 @ 12" OC.
 METAL STUD INSTALLATION. METAL STUDS SHALL BE GALVANIZED SHEET STEEL, 2x6 @ 16" OC, 2x8 @ 12" OC, 2x10 @ 12" OC. METAL STUDS SHALL BE GALVANIZED SHEET STEEL, 2x6 @ 16" OC, 2x8 @ 12" OC, 2x10 @ 12" OC.
 CEILING FRAMING INSTALLATION. INSTALLED IN ACCORDANCE WITH ASTM C110. GA-216 & GA-4001. CEILING FRAMING SHALL BE GALVANIZED SHEET STEEL, 2x6 @ 16" OC, 2x8 @ 12" OC, 2x10 @ 12" OC.
 DEFLECTION LEVEL CEILING TO A TOLERANCE OF 1/8". LATERALLY BRACE ENTIRE SUBVISION SYSTEM.
 ACoustical CEILING TILE EQUAL TO ARNSTRONG FINE FIBERED SQUARE LAY IN 24" x 24" x 5/8" LTYPE GRID - WHITE.
 INTERIOR SYSTEMS CONSTRUCTION ASSOCIATION.
 INSTALL SYSTEMS CONSTRUCTION ASSOCIATION (ASTM) C110, GA-216 & GA-4001. INTERIOR SYSTEMS CONSTRUCTION ASSOCIATION.
 PROVIDE ALL NECESSARY ACCESSORIES, GALVANIZED SUPPORT HANGERS AND CHANNELS, PERMETER MOLDINGS, SHIMS AND FINISHES AS REQUIRED FOR MOUNTING AT THE SAME ELEVATION AS FACE OF GRID.
 TOUCH UP PAINT AS REQUIRED TO MATCH GRID.
 VINYL COMPOSITION TILE (VCT)
 1.1. PERFORMANCE REQUIREMENTS
 A. Conform to applicable code for performance ratings as follows
 1. Flooring impact sound class (ICP) minimum 0.05 rating per square foot per ASTM E 648.
 2. Flooring impact resistance (IR) minimum 0.05 rating per square foot per ASTM E 648.
 3. Flooring abrasion resistance (AR) minimum 0.05 rating per square foot per ASTM D 2872.
 4. All finishes and colors shall be approved by owner prior to ordering.
 5. Acoustical ceiling tile type 7 - ARNSTRONG FINE FIBERED - HUNTINGDON PLUS. SQUARE LAY IN 24" x 24" x 5/8" LTYPE GRID - WHITE.

NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"

MAP SHOWING SURVEY OF

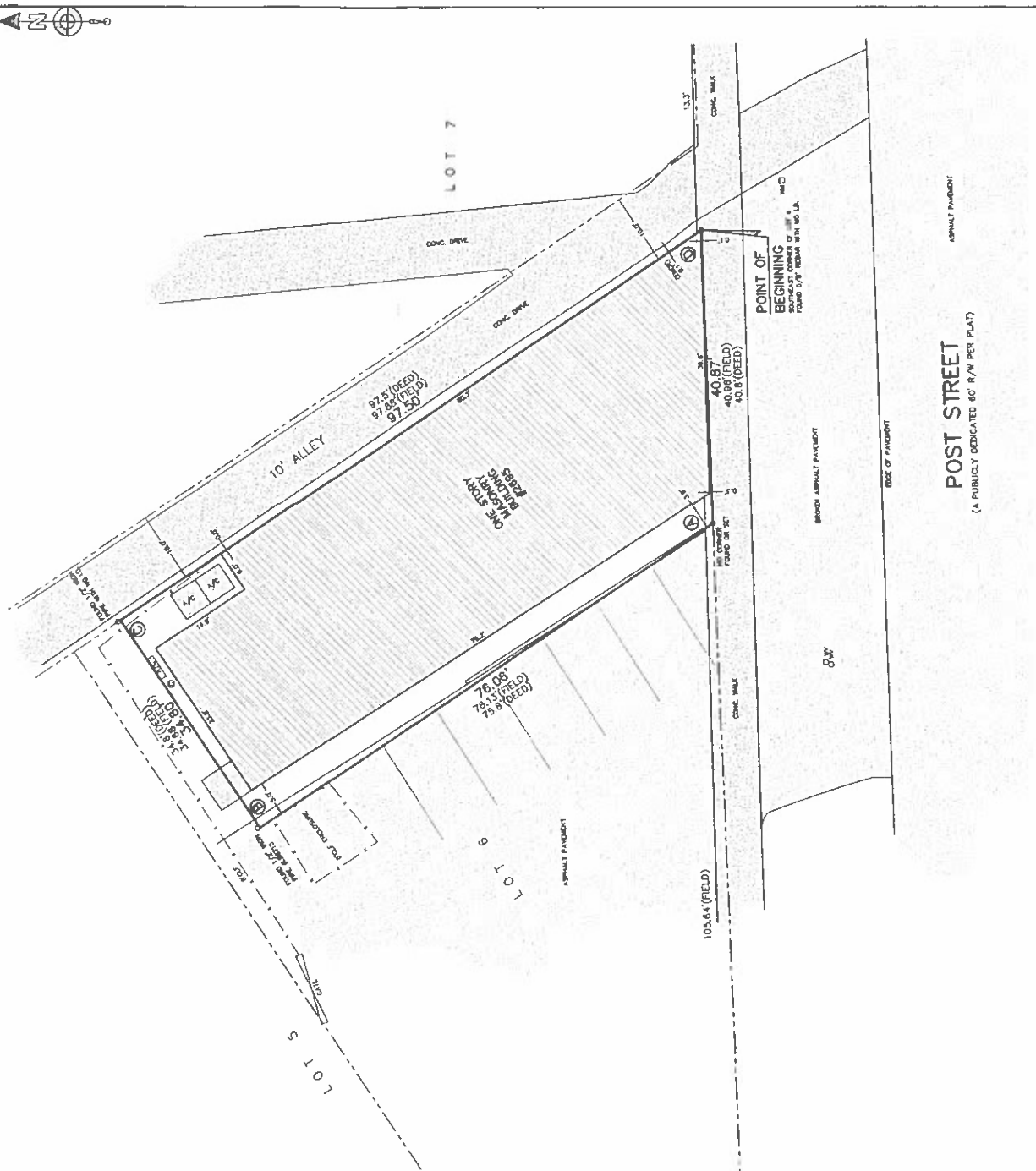
A PART OF LOT 6, BLOCK 6, NEW RIVERSIDE, ACCORDING TO THE MAP AND PLAT THEREON AS RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT AN IRON AT THE SOUTHEAST CORNER OF SAID LOT 6; THENCE WESTERLY ALONG THE NORTH LINE OF POST STREET, A DISTANCE OF 40.8 FEET TO A POINT; THENCE NORTHWESTERLY PARALLEL TO THE NORTHERLY LINE OF SAID LOT 6, A DISTANCE OF 75.8 FEET TO AN IRON; THENCE EASTERLY PARALLEL TO THE NORTHERLY LINE OF SAID LOT 6, A DISTANCE OF 34.8 FEET TO AN IRON; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERNLY LINE OF SAID LOT 6, A DISTANCE OF 34.8 FEET TO THE POINT OF BEGINNING.

COLLEGE STREET
(LONDON STREET PER PLAT)
(A PUBLICLY DEDICATED 60' R/W PER PLAT)

KING STREET
(A PUBLICLY DEDICATED 60' R/W PER PLAT)

POST STREET
(A PUBLICLY DEDICATED 60' R/W PER PLAT)



CERTIFIED TO:
THE DUVAL CAFE LLC

DATE: _____
SHEET 1 OF 1

JASON D. BOATWRIGHT, P.S.M.
FLORIDA LICENSE NUMBER: 13011200346
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND SURVEY.

GENERAL SURVEY NOTES

- THIS IS A BOUNDARY SURVEY.
- ALL INTERIOR ANGLES PER FIELD SURVEY, AS FOLLOWS:
A = 121°48'58" B = 80°17'19" C = 89°47'59" D = 89°07'44"
- INTERIOR ANGLES PER FIELD SURVEY, AS FOLLOWS:
A = 121°48'58" B = 80°17'19" C = 89°47'59" D = 89°07'44"
- THIS SURVEY WAS CONDUCTED AND RECORDED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND REGULATIONS OF THE SURVEYING AND MAPPING BOARD OF THE STATE OF FLORIDA.
- THE SURVEYING EQUIPMENT USED IN THIS SURVEY IS DESCRIBED IN THE SURVEYING REPORT ATTACHED TO THIS PLAT.
- THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND REGULATIONS OF THE SURVEYING AND MAPPING BOARD OF THE STATE OF FLORIDA.
- FLORIDA LICENSE NUMBER: 13011200346, REVISED JUNE 3, 2013 FOR DUVAL COUNTY, FLORIDA.

SYMBOL LEGEND

- (---) ADJACENT PROPERTY
- (---) BOUNDARY
- (---) RIGHT-OF-WAY
- (---) EASEMENT
- (---) UNRECORDED BOUNDARY
- (---) UNRECORDED EASEMENT
- (---) UNRECORDED INTEREST
- (---) UNRECORDED SURVEY
- (---) UNRECORDED SUBDIVISION
- (---) UNRECORDED TOWN
- (---) UNRECORDED VILLAGE
- (---) UNRECORDED CITY
- (---) UNRECORDED COUNTY
- (---) UNRECORDED STATE
- (---) UNRECORDED FEDERAL

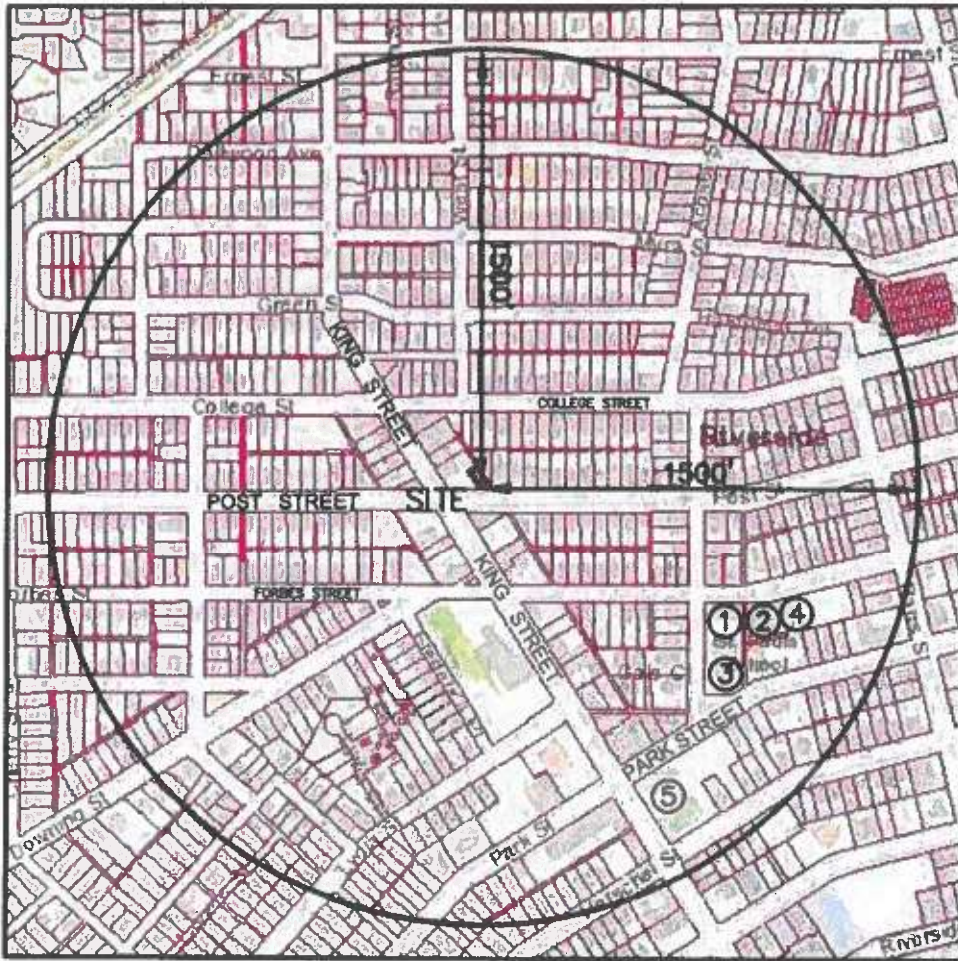
ABBREVIATION LEGEND

- CONC. UTILITY PIPE
- IRON MONUMENT
- WOOD MONUMENT
- WOOD PIPE
- WOOD POST
- WOOD NAIL
- WOOD SCREW
- WOOD SHANK
- WOOD SIGN
- WOOD TIE
- WOOD WIRE
- WOOD YARD
- WOOD ZINC
- WOOD ZINC NAIL
- WOOD ZINC SHANK
- WOOD ZINC SIGN
- WOOD ZINC TIE
- WOOD ZINC WIRE
- WOOD ZINC YARD
- WOOD ZINC ZINC
- WOOD ZINC ZINC NAIL
- WOOD ZINC ZINC SHANK
- WOOD ZINC ZINC SIGN
- WOOD ZINC ZINC TIE
- WOOD ZINC ZINC WIRE
- WOOD ZINC ZINC YARD
- WOOD ZINC ZINC ZINC

2023 Project: 14889_V09J-0971_2489-0001_17 - 08/13/21-0971.dwg

MAP OF

A PORTION OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 26 EAST, DUVAL COUNTY, FLORIDA



VICINITY MAP
SCALE: 1" = 500'

NOTES:

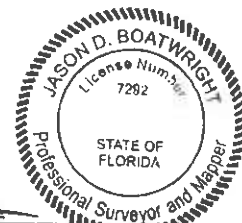
1. THIS IS A MAP ONLY.
2. THE PURPOSE OF THIS MAP IS TO SHOW THE LOCATION OF ANY CHURCHES, SCHOOLS OR ADULT ENTERTAINMENT FACILITIES WITHIN 1500 FEET OF THE SUBJECT SITE, OF WHICH THERE ARE FIVE (5):

SUBJECT SITE:
2695 POST STREET,
JACKSONVILLE, FL 32204
REAL ESTATE I.D. No: 064199-0010

- ① CHAMPIONS AT ST. PAUL'S CATHOLIC SCHOOL (AFTER SCHOOL PROGRAM)
2609 PARK STREET,
JACKSONVILLE, FL 32204 900'±
- ② ST. PAUL'S CATHOLIC SCHOOL-RIVERSIDE (MIDDLE SCHOOL)
2609 PARK STREET
JACKSONVILLE, FL 32204 1,010'±
- ③ ST. PAUL'S CATHOLIC CHURCH & SCHOOL
2609 PARK STREET,
JACKSONVILLE, FL 32204 970'±
- ④ MARY'S CHAPEL
2609 FORBES STREET,
JACKSONVILLE, FL 32204 1,100'±

- ⑤ RIVERSIDE CHURCH AT PARK AND KING
2650 PARK STREET,
JACKSONVILLE, FL 32204 1,170'±

CERTIFIED TO:
THE COLAB CAFE, LLC.

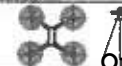


JASON D. BOATWRIGHT, P.S.M.
FLORIDA LICENSED SURVEYOR and MAPPER No. LS 7292
FLORIDA LICENSED SURVEYING & MAPPING BUSINESS No. LB 3672
"NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."

DATE: JULY 13, 2023 SHEET 1 OF 1	FILE: 2023-0921-2 DRAWN BY: ADT SCALE: 1" = 500'
--	--

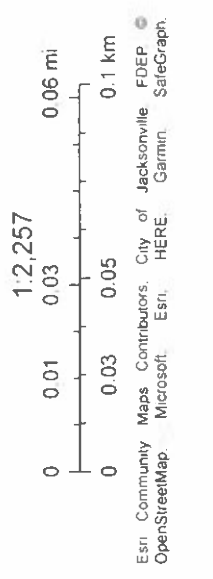
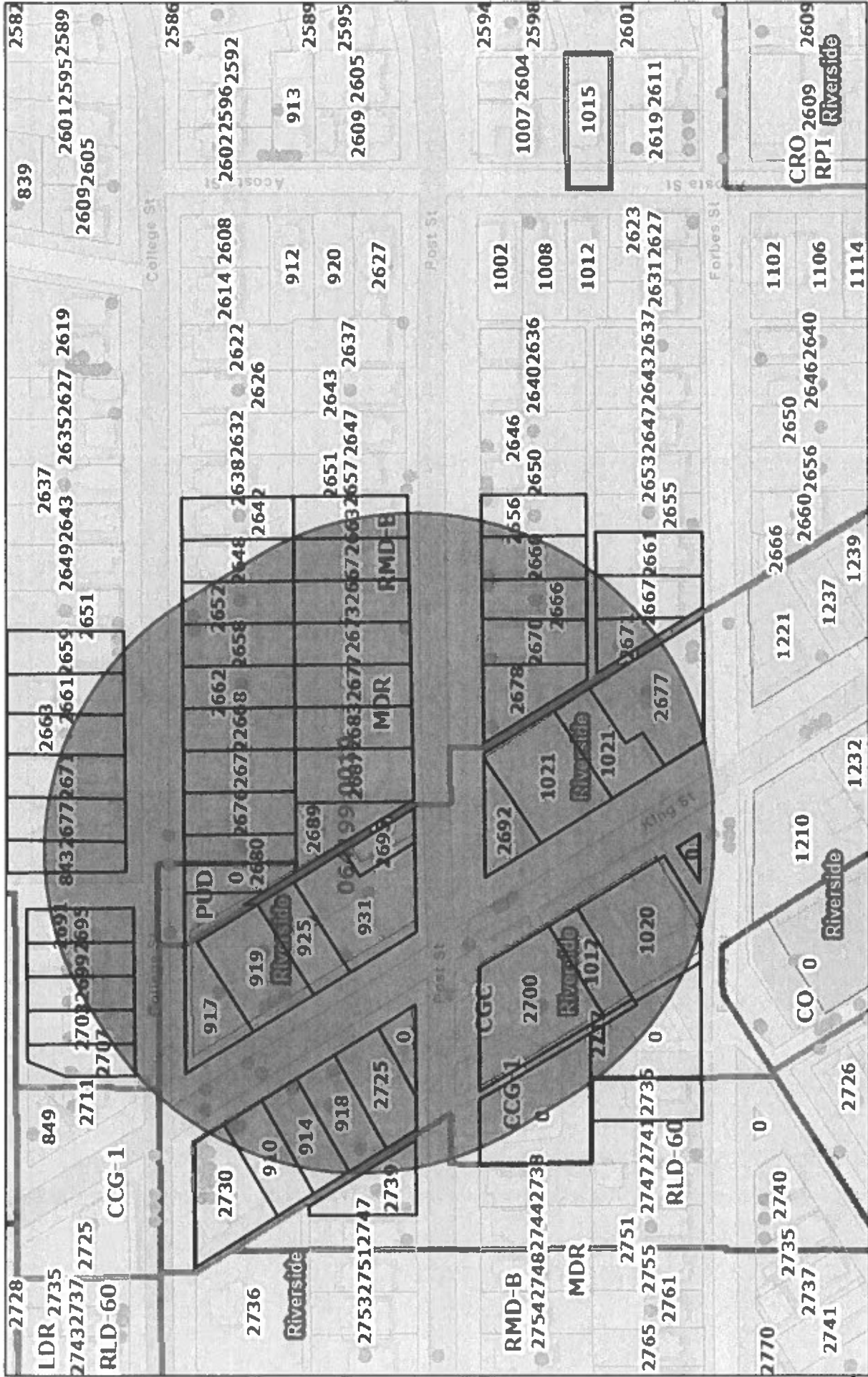
BOATWRIGHT LAND SURVEYORS, INC.

1500 ROBERTS DRIVE, JACKSONVILLE BEACH, FLORIDA 32250 (PH) 904-241-8550



On File

Land Development Review



File: July 18, 2023
 On Page 17 of 18

Esri, Community Maps Contributors, City of Jacksonville, FDEP, OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph.

RE	LNAME	LNAME2	MAIL_ADDR1	MAIL_ADDR2	MAIL_CITY	MAIL_ZIP
064353 0000	1012 KING STREET LLC		2958 COLLIER AVE		JACKSONVILLE	FL 32205
064242 0000	APARTMENTS PLUS INC		2908 POST ST		JACKSONVILLE	FL 32205-7474
064378 0000	AUTUMNBROOK PROPERTIES LLC		5569 AUTUMNBROOK CT		JACKSONVILLE	FL 32258
064202 0000	BASS CLEO		7242 TRAILS END		JACKSONVILLE	FL 32277
064224 0000	BLUE TRUST		C/O BARBARA D BLUE TRUSTEE	10829 PEACEFUL HARBOR DR	JACKSONVILLE	FL 32218-
064187 0000	BOZZINI 7008 REVOCABLE TRUST		14314 OLD WOOD RD		SARATOGA	CA 95070
064183 0000	BRUSHIGHAN RIGGS CHRISTOPHER ET AL		2691 COLLEGE ST		JACKSONVILLE	FL 32204
064384 0000	CARTER LOVE L L C		2730 COLLEGE ST		JACKSONVILLE	FL 32205-7412
064230 0000	COLLEGE 2688 LLC		30 CHURCH ST SUITE 4		NEW ROCHELLE	NY 10801
064229 0000	COLVIN DAVID H		2680 COLLEGE ST		JACKSONVILLE	FL 32204
064262 0000	CORL JOSEPH M ET AL		323 HILLTOP DR		ORANGE PARK	FL 32073
064259 0000	DELLINGER CHASE MICHAEL ET AL		2111 MYRA ST		JACKSONVILLE	FL 32204
064180 0000	DENNIS T SCOTT		2703 COLLEGE ST		JACKSONVILLE	FL 32204-3507
064199 0000	DISCOUNTE LIQUORLAND LLC		931 KING ST		JACKSONVILLE	FL 32204
064349 0010	FANT JULIAN E JR & DDROTHY S REVOCABLE TRUST		4062 TIMUQUANA RD		JACKSONVILLE	FL 32210
064206 0000	FELIX RYAN JAMES		2663 POST ST		JACKSONVILLE	FL 32204
064201 0000	FLORIDA LAND TRUST 2689 ONST		1021 KING ST		JACKSONVILLE	FL 32204-4207
064222 0000	GARCIA BIELLE MAREE R		P O BOX 60952		JACKSONVILLE	FL 32236
064181 0000	GUZAK KEVIN		2699 COLLEGE ST		JACKSONVILLE	FL 32204
064263 0000	HISTORIC POST STREET APARTMENTS TRUST		500 WESTOVER DR 10209		SANFORD	NC 27330
064197 0010	HOP LIKE RMR LLC		30 CHURCH ST		NEW ROCHELLE	NY 10801
064190 0000	KARMA PROPERTY MANAGEMENT LLC		1733 N 1ST ST		JACKSONVILLE BEACH	FL 32250
064260 0000	KING GROUP INVESTMENTS INC		2219 PARK ST		JACKSONVILLE	FL 32204-4315
064381 0000	KING STREET EQUITIES LLC		6271 ST AUGUSTINE RD	STE 24 1088	JACKSONVILLE	FL 32217
064197 0020	LML PROPERTY INC		400 E BAY ST UNIT #401		JACKSONVILLE	FL 32202
064189 0000	LOSASSO MARY S		2661 COLLEGE ST		JACKSONVILLE	FL 32204-3505
064200 0000	LUCIUS SHAWN		2687 POST ST		JACKSONVILLE	FL 32204
064203 0000	MCGILL JAKE A		2677 POST ST		JACKSONVILLE	FL 32204-4230
064188 0000	MULLANEY SCOTT		2663 COLLEGE ST		JACKSONVILLE	FL 32204
064182 0000	OMT REVIEW LLC		145 BRISTOL PL		JACKSONVILLE	FL 32082
064351 0000	PEOPLES GAS SYSTEM INC		ATTN: TAX DEPT	P O BOX 2562	TAMPA	FL 33601-2562
064354 0000	POON IRREVOCABLE TRUST		4411 VINTON RD		JACKSONVILLE	FL 32207
064241 0000	R AND M RAWLIS LLC		4495 GLEN KERNAN PKWY E		JACKSONVILLE	FL 32224
064243 0000	REHL RICHARD L		2661 FORBES ST		JACKSONVILLE	FL 32204
064179 0000	ROBINSON ELDRIDGE		2707 COLLEGE ST		JACKSONVILLE	FL 32204
064383 0000	ROCK OF AVONDALE INC		910 KING ST		JACKSONVILLE	FL 32204
064261 0000	RUDLOFF JOSHUA		2666 POST ST		JACKSONVILLE	FL 32204
064380 0000	SAFAR ADMOUN		6863 LA LOMA DR		JACKSONVILLE	FL 32217-2611
064349 0000	SALEEBAS III LLC		3651-1 ST JOHNS AV		JACKSONVILLE	FL 32205
064205 0000	SHELDON KAYLA RENEE		2667 POST ST		JACKSONVILLE	FL 32204
064271 0000	SIEBENSCHUH BRIAN		2642 COLLEGE ST		JACKSONVILLE	FL 32204-3506
064186 0000	SNOW SHANNON M		2677 COLLEGE ST		JACKSONVILLE	FL 32204
064225 0000	THOMPSON LINDA F		2662 COLLEGE ST		JACKSONVILLE	FL 32204-3506
064207 0000	THONISSEN EMILY J		1732 SAN MARCO BLVD APT 3		JACKSONVILLE	FL 32207
064232 0000	WALKER RESIDENTIAL HOLDINGS LLC		2958 COLLIER AVE		JACKSONVILLE	FL 32205
064185 0000	WILDER GAIGE		843 WEST ST		JACKSONVILLE	FL 32204
064204 0000	WOOD ROBERT H		1667 MARGARETS WALK		FLEMING ISLAND	FL 32003
064223 0000	WORKMAN FAMILY TRUST		5447 TIMUQUANA RD		JACKSONVILLE	FL 32210
064228 0000	WRIGHT KEENAN W		2676 COLLEGE ST		JACKSONVILLE	FL 32204-3506
064227 0000	ZUKOWSKI CONNIE ARIN ET AL		C/O CHASTITY CAMPBELL MURPHY	2672 COLLEGE ST	JACKSONVILLE	FL 32204
	NORTHWEST		9381 ARBOR OAK LN		JACKSONVILLE	FL 32208
	PARK & KING AREA ASSOCIATION		2730 COLLEGE ST		JACKSONVILLE	FL 32205-7412
	RIVERSIDE AVONDALE PRESERVATION SOCIETY	SHANNON BLANKINSHIP	2623 HERSCHEL ST		JACKSONVILLE	FL 32204