

DEC 05 2022

NOTICE OF APPEAL OF A
JACKSONVILLE HISTORIC PRESERVATION COMMISSION
CERTIFICATE OF APPROPRIATENESS

I. INSTRUCTIONS

As provided in §307.201, Ordinance Code, any person with standing may appeal a Jacksonville Historic Preservation Commission final order on an application for a Certificate of Appropriateness to the City Council. An appeal must be filed within 21 calendar days of the effective date of the final order granting, granting with conditions, or denying a Certificate of Appropriateness. To appeal a Commission final order on an application for a Certificate of Appropriateness, complete and submit this form to the Legislative Services Division, Suite 430, City Hall-St. James, 117 W. Duval Street, Jacksonville, Florida 32202 with the supporting documents (see Section III) and appropriate fees (see Section IV). A copy of the final order and the list of persons who testified before or wrote to the Commission about the Certificate (see Sec. III(1) and (4)) may be obtained from the Historic Preservation Section of the Planning and Development Department, 3rd Floor, Ed Ball Building, 214 North Hogan Street, Jacksonville, Florida 32202.

II. NOTICE OF APPEAL

on behalf of Kimberly BAKER

I, Ian Baker A

PRINT NAME CLEARLY

, hereby file this Notice of Appeal from the final order of

22-28217

the Jacksonville Historic Preservation Commission concerning Certificate of Appropriateness Number _____.

am (Please circle one):

(a)

The person who filed the application for the Certificate of Appropriateness;

(b)

A person who owns, lives, or operates a business on property within 350 feet of the property which has been granted or denied the Certificate of Appropriateness;

(c)

A person, other than a member of the City Council, who provided a written statement or who testified before the Historic Preservation Commission and who is suffering or will suffer an adverse effect to an interest protected or furthered by Chapter 307, Ordinance Code. The statement must have been in writing, expressing a position on the merits of the application, other than a petition, such as a letter, a memo or an e-mail, containing a reference to the specific application number and the name and mailing address of the person making the statement. The statement must have been specifically addressed to the Chief of the Comprehensive Planning Division or any member of the historic preservation staff or the Commission, with a copy to the Chief of the Comprehensive Planning Division, and which was delivered to and received by the Department by hand delivery, mail, facsimile or e-mail at least two working days prior to the public hearing at which the Commission took final action, or which is read into the record at the public hearing or distributed to the Commission at the hearing with a copy to the staff secretary.

III. SUPPORTING DOCUMENTS

To complete your Notice of Appeal, you must submit the following documents with this form:

(1)

A copy of the Final Order on the Certificate of Appropriateness you are appealing.

(2)

You must provide a statement of your interest sufficient to show how you are or will be adversely affected by the Commission's decision. Please provide this statement in the space below.

See attached

If you need additional space, please attach a separate sheet.

(3) A description of the specific error(s) you believe the Commission committed. Please provide this description in the space below.

See attached

If you need additional space, please attach a separate sheet.

(4) The list of the persons (complete names and mailing addresses), certified by the staff secretary to the Commission, who testified before, or who provided a qualified written statement to the Commission the Commission regarding the subject of the appeal. (You must pay a \$2.00 notification fee for each person on the list.)

IV. FILING AND NOTIFICATION FEES

Section 307.203, Ordinance Code, requires persons appealing Final Orders on Certificates of Appropriateness to pay filing and notification fees. These fees must be paid at the time your Notice of Appeal is filed with the Legislative Services Division or your Appeal will not be accepted. You may include the filing and notification fees in one payment. Make checks payable to TAX COLLECTOR.

Filing Fee: \$550.00
Notification Fee: \$2.00 for each notification.

V. Contact Information

Please complete the following:

Name (Printed): Kimberly Baker
Address: 6127 Achor Lane
Rockledge, FL 32955
Daytime Phone Number: 321-749-8614
Evening Phone Number: 11
E-mail address: kimsimbak@gmail.com

VI. CERTIFICATION

Please read, sign and date the following statement:

I have read and understand the information contained in this Notice of Appeal. I hereby certify that I have provided all the information required under §307.203, Ordinance Code, I understand that if this Notice of Appeal is incomplete, my appeal will not processed until it is complete, and that it may be rejected for incompleteness. I further certify that all my statements in this Notice of Appeal are true and correct to the best of my knowledge.

KLBE
Signature

12/5/22
Date

Sec. 307.201. - Appeal of the decision on an application for certificate of appropriateness.

The determination by the Commission approving, approving with conditions, or denying an application for a certificate of appropriateness shall be appealable to the City Council. The notice of appeal shall be filed with the Legislative Services Division within **twenty-one calendar days** from the effective date of the written order. As defined in Section 307.106(k) herein, the effective date of the written order, and the date upon which the written order is deemed to be issued, is the date upon which the order is actually signed by the last of all persons required to sign the order.

Nov 15 - Dec 6 Tuesday

(Ord. 96-362-453, § 4; Ord. 2001-622-E, § 2; Ord. 2004-482-E, § 1)

Sec. 307.202. - Standing.

The following may appeal any final order of the Historic Preservation Commission with respect to an application for a certificate of appropriateness.

- (a) **The person who filed the application for certificate of appropriateness.**
- (b) Any person who owns, lives or operates a business on property within 350 feet of property which is granted or denied a certificate of appropriateness;
- (c) Any adversely affected person, other than a council member, who provided a qualifying written statement to or testified before the Historic Preservation Commission. As used herein, the term "adversely affected person" means any person who is suffering or will suffer an adverse effect to an interest protected or furthered by this Chapter 307. The alleged adverse effect may be shared in common with other members of the community at large, but must exceed in degree the general interest in community good shared by all persons. Also as used herein, the term "qualifying written statement" means a statement in writing which expresses a position on the merits of the application, other than a petition, such as a letter, a memo or an e-mail, which contains a reference to a specific application number and the name and mailing address of the person making the statement, is specifically addressed to the Chief of the Comprehensive Planning Division or any member of the historic preservation staff or the Commission, with a copy to the Chief of the Comprehensive Planning Division, and which is delivered to and received by the Department by hand delivery, mail, facsimile or e-mail at least two working days prior to the public hearing at which final action is taken by the Commissioners or which is read into the record at the public hearing or distributed to the Commission at the hearing with a copy to the staff secretary.

(Ord. 96-362-453, § 4; Ord. 2001-622-E, § 2)

Sec. 307.203. - Notice of appeal.

- (a) **The notice of appeal shall be filed with the Legislative Services Division and contain:**

- (1) A copy of the written order to be reviewed.
 - (2) A statement of the interest of the person seeking review which is sufficient to show how that person is adversely affected.
 - (3) A statement which explains the specific error alleged as the grounds for the appeal.
 - (4) A written list, certified by the staff secretary to the Commission, of the complete names and mailing addresses of any and all persons who either provided a qualifying written statement to or testified before the Commission regarding the subject of the appeal.
- (b) The notice of appeal shall be filed with the Legislative Services Division within 21 calendar days of the effective date of the decision, and shall be accompanied by a filing fee, plus a required notification fee as found in www.coj.net/fees.

(Ord. 96-362-453, § 4; Ord. 2001-622-E, § 2; Ord. 2010-216-E, § 4; Ord. 2017-665-E, § 18)

Sec. 307.204. - Appellate procedure.

- (a) Within five days of the filing of a notice of appeal, including all required attachments, which has been determined to be complete, the Legislative Services Division shall notify the Council President, the chairman of the appropriate Council Committee, the affected district Council member, the Chief of Building Inspection Division, the Director of Planning and Development and the Chief of the Comprehensive Planning Division of the filing of the notice of appeal, and shall request the Office of General Counsel to prepare a resolution concerning the appeal to be introduced by the appropriate committee of Council.
- (b) Upon notification by the Legislative Services Division of the filing of a notice of appeal, the Planning and Development Department shall forward a copy of the Department file on the matter to the Office of General Counsel, including the minutes pertaining to that matter, and any exhibits offered as evidence before the Commission.
- (c) Upon a determination by the Office of General Counsel that the notice of appeal is sufficient, timely filed and that the appellant has standing to file the appeal, the Chairman of the committee of reference shall schedule a public hearing concerning the appeal. The Division of Legislative Services shall notify the applicant and all persons included on the lists attached to the notice of appeal of the time, date and location of the public hearing. The written notice shall be mailed at least 14 days prior to the date of the scheduled public hearing. If the Office of General Counsel determines that the notice of appeal is not sufficient, timely filed or that the appellant does not have standing to file the appeal, the attorney shall prepare a written recommendation for consideration by the committee of reference. After the committee of reference makes a determination concerning the deficiencies, the Office of General Counsel shall notify the appellant in writing of the deficiencies. No further action shall be taken until the appellant

remedies the deficiencies and the committee of reference thereafter determines the notice of appeal to be sufficient. The deficiencies must be remedied within 30 days or the resolution is subject to withdrawal by the Council at any time thereafter.

- (d) The resolution shall be referred to the appropriate committee of Council, which shall conduct a de novo public hearing as soon thereafter as reasonably practicable. The committee of reference shall prepare a proposed recommended written order for consideration by the Council.
- (e) The record shall include all evidence and testimony presented to the Commission as well as any evidence presented to the appropriate Committee of Council orally or in writing.
- (f) The committee of reference shall have the authority:
 - (1) To accept briefs and other papers to be filed on behalf of any party; provided all papers are submitted at or prior to the Committee hearing;
 - (2) To hear oral argument on behalf of any party;
 - (3) To take testimony and allow cross-examination of witness;
 - (4) To adjourn, continue, or grant extensions of time for compliance with these rules, whether or not requested by a party, provided no requirement of law is violated;
 - (5) To dispose of procedural requests or similar matters including motions to amend and motions to consolidate; and
 - (6) To keep a record of all persons requesting notice of the decision of each case.

(Ord. 96-362-453, § 4; Ord. 2001-622-E, § 2; Ord. 2004-482-E, § 1; Ord. 2005-330-E, § 1)

Sec. 307.205. - Decision of the Council and final action.

- (a) As a final action, the Council may affirm, reverse or modify each contested decision, or it may refer the matter back to the Commission with specific instructions for further action, by adopting a written order. The decision of the Council must be based on competent, substantial evidence presented as part of the record. A copy of the written order shall be forwarded by the Legislative Services Division to the Historic Preservation Section of the Planning and Development Department.
- (b) When the Council acts on a contested decision by affirming, reversing, or modifying the action of the Commission, the Council action shall be deemed to be the final action of the city and shall be subjected to no further review under this Code.

(Ord. 96-362-453, § 4; Ord. 2001-622-E, § 2; Ord. 2004-482-E, § 1; Ord. 2005-330-E, § 1)

Sec. 307.206. - Custody of books and papers.

The Council Secretary shall be the custodian of all documents concerning the appeal, including the notice of appeal, the Committee's decision, the Council's decision, and the records of the proceedings.

(Ord. 96-362-453, § 4)

Sec. 307.207. - Time periods procedural.

The notice time periods provided for this Part are procedural and not substantive. Noncompliance with a notice time period shall neither confer upon nor deny a substantive right to an applicant for a certificate of appropriateness and/or an appellant.

(Ord. 2005-330-E, § 2)

Sec. 307.208. - Fees established.

There are hereby established below, the indicated fees for the indicated permits, materials of services: The fees contained within this Section are subject to the Annual Review of Fees provision found in Section 106.112, Ordinance Code. The fees listed below can be found electronically on the following City of Jacksonville webpage: www.coj.net/fees.

- (a) Certificate of Appropriateness (COA) application requiring a review and action by the Commission for:
 - (1) Alterations or additions, and new construction;
 - (2) Relocations;
 - (3) Demolitions.
- (b) Any Certificates of Appropriateness (COA) application requiring a review and action by the Commission that is filed subsequent to the issuance of a notice of violation: Fees doubled after citation.

(Ord. 2004-1003-E, § 5; Ord. 2004-1003-E, § 5; Ord. 2010-216-E, § 4; Ord. 2017-665-E, § 18)

BEFORE THE HISTORIC PRESERVATION COMMISSION
OF THE CITY OF JACKSONVILLE

CERTIFICATE OF APPROPRIATENESS APPLICATION NO.: **COA-22-28217**

IN RE: After the fact Certificate of Appropriateness Application of

Address: 1968 Morningside Street, RE# 092736-0000

Owner: Kimberly Baker
6127 Anchor Lane
Rockledge, FL 32955

Applicant: Kimberly Baker

ORDER ON COA-22-28217: DENIED

Having duly considered both the testimonial and documentary evidence presented at the meeting and public hearing **October 26, 2022**, including the COA Application and the Planning and Development Department's Staff Report and Recommendation and all attachments thereto ("Staff Report"), a portion of which is attached hereto as **EXHIBIT A**, and **on file** its entirety in the Planning and Development Department, the Jacksonville Historic Preservation Commission hereby

FINDS AND DETERMINES:

1. That the applicant did comply with the procedural and application requirements set forth in Section 307.106 of the Jacksonville Ordinance Code; and
2. That as stated in the record, substantial competent evidence demonstrates that application **COA-22-28217** does not meet the standards and criteria set forth in Section 307.106 of the Jacksonville Ordinance Code; and
3. The Commission hereby adopts the findings in the Staff Report for application **COA-22-28217**, to the extent consistent with this Order; and
4. That the land which is the subject of application **COA-22-28217** is owned by **Kimberly Baker**.

NOW THEREFORE, it is **ORDERED** by the Historic Preservation Commission:

Application **COA-22-28217** is hereby **DENIED**.

Executed this 15th day of November, 2022.

FORM APPROVED:



Carla Lopera
Office of General Counsel



Jack C. Demetree, III
Chairman
Historic Preservation Commission

Copy to:

Owner & Applicant: Kimberly Baker
6127 Anchor Lane
Rockledge, FL 32955

NOTICE OF RIGHT TO APPEAL. Persons listed in Section 307.202, Ord. Code, may appeal this decision to the City Council within twenty-one (21) days of the date of this Order by filing a Notice of Appeal with the Legislative Services Division of the Council as required by section 307.203, Ord. Code. Failure to file a Notice with the Legislative Services Division within the time prescribed waives the right to appeal this Order.

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October 26, 2022

**Report of the Jacksonville Planning and Development Department
Certificate of Appropriateness Application COA-22-28217**

Address: 1968 Morningside Street, RE# 092736-0000

Location: Southwest corner of Morningside Street and Richmond Street, between
Richmond Street and Arden Street

Owner: Kimberly Baker
6127 Anchor Lane, Rockledge FL, 32955

Applicant: Same as owner

Year Built: c. 1922 (*Property Appraiser*)

Designation: Riverside Avondale; Contributing

Request: Reroof

Summary Scope of Work:

1. Reroof; replace the existing grey 3-tab shingles with standing seam silver metal roofing.

Recommendation: Deny



PROJECT DESCRIPTION

This application for Certificate of Appropriateness is to reroof a contributing structure within the Riverside Avondale Historic District. The structure is a two-story bungalow-styled single-family residence. The home was constructed around 1922 and is characterized by its shake siding, one-over-one windows, exposed rafters, grey shingled roof, and small front porch. The proposed scope of work is to replace the existing roofing material with standing seam silver metal roofing. The majority of the homes on this portion of the block have roofs with either composition or asphalt shingles as roofing material.

STAFF SUMMARY AND ANALYSIS

Staff considered the applicable Design Guidelines for the Springfield Historic District and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(l). The following is Staff's analysis:

- Based on the Sanborn Map for the property (Volume 3, 1924-1951, sheet 342), the primary structure had a composition roof at the time of the survey. Additionally, the secondary structure in the rear of the property also had a composition main roof. At some point in time, an addition with a metal roof was added on to the secondary structure.
- 307.106(l)(6) states that deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. The proposed material would not be following these guidelines since the intent is to remove the existing composite shingle roof and replace it with a new alternative material which would change the visual qualities of the current roof. Therefore, this scope of work is inconsistent with Standard 6 and 307.106(l)(6).
- Based on the Design Guidelines, it is recommended to "replace deteriorated roof surfacing with new material, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture". The proposed metal roofing material is inconsistent with these Design Guidelines.
- The new metal roofing material would be incompatible with the structure since it has been found to historically have a composite shingle roof. Additionally, homes in this block do not utilize metal roofing materials. Therefore the proposed request is inconsistent with Section 307.106(k)(1 and 2) which emphasize the importance of the proposed work on the property and the relationship between the proposed work with the district.

For these reasons, it is the position of the Planning and Development Department that the proposed work is inconsistent with:

1. Section 307.106(k) General Standards: 1 and 2
2. Section 307.106(l) Guidelines on "Alterations": 6
3. Historic District Design Guidelines, Section on "Roof and Roof Surfaces"

CODE CRITERIA AND DESIGN GUIDELINES

General Criteria

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site, or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;

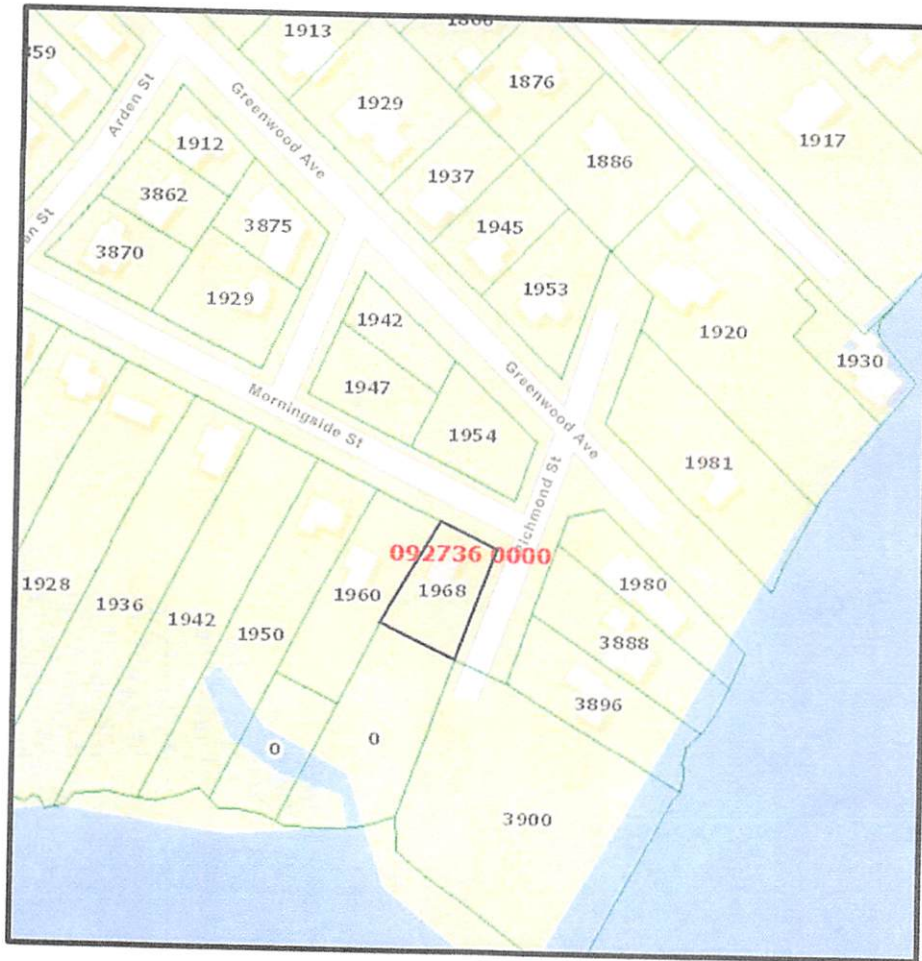
Alterations

- 307.106(l)(6) - Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. **However, technologically advanced materials shall be considered and used as replacement alternatives.** Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

Historic District Design Guidelines, "Roofs and Roof Surfaces"

- Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials.
- Recommend #3: "Replace deteriorated roof surfacing with new material, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture."

LOCATION MAP



PICTURE OF PROPERTY WITH POSTED SIGN



COA-22-28217

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On File
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SECTION 307.203 (a)

(2) STATEMENT OF INTEREST

I am the owner of the property at 1968 Morningside seeking a review of a metal re-roof COA-22-28217 denial. The property is located on open water, the house sits 300 feet from the St. John's River and less than 95 feet from the entry of Fishweir Creek. We plan to retire to the house once it is repaired and are attempting to put the best roof available on it to withstand future storms. We currently live on the intercoastal in Brevard County. Since 1997 we have had multiple instances of shingle roof damage and leaks during several storms. Insurance would only cover "patching" failed shingles, which then made the roof ineligible for future roof claims. After many repairs to ceilings and flooring we decided to replace our 13-year-old shingle roof with a metal roof in 2008 and have had several storms hit us with no leaks and no roof damage since. Including Hurricane Irma and two direct hits this year by hurricanes Ian and Nicole. Our dock, seawall and yard sustained substantial damage, we had water pouring in through our windows and doors, but the roof was not affected at all. We know for a fact that a standing seam metal roof performs better when exposed to sustained hurricane force winds.

We have already spent well over half a million dollars on this house and estimates on repairs due to the roof failure as well as foundation failure along with updates to electric and plumbing will put our remodel at nearly a million dollars. We believe the JHPC denying our right to properly protect our financial investment in this property adversely affects us.

(3) GROUNDS FOR APPEAL

(a) From coj.net planning and development: *The Historic Preservation Element defines the City's role in addressing historic preservation issues and concerns. This Element identified one goal: 'It shall be the goal of the City of Jacksonville to identify, document, protect, and preserve its archaeological, historic, architectural, and cultural resources.*

The JHPC mission statement is to protect and preserve these century old homes. I provided pictures of the current condition of the house due to the owner not being able to afford a new roof. The roof I am proposing has a 3-4 times longer life span than an asphalt shingle roof in the state of Florida (Florida sun and humidity deteriorate asphalt much faster than other areas of the country). It also has superior wind ratings. I have documents from both my insurance agent and my roofer confirming this, please see exhibit A. The roof I am proposing is period correct for this house, it will not change any of the historic architectural details and would "protect and preserve it" for long after we own it. Superior roofs are what JHPC should be asking of all historic home reroofs, especially those located on the open water.

** from my conversation with my homeowner's insurance agent, "due to extensive losses insurance companies were refusing to insure any asphalt roofs older than 10 years. This year they were mandated by the State of Florida to push that to 15 years." They allow metal roofs up to 25 years. Although this is much less than the expected life of metal, it shows that they believe metal does in fact have a longer functional life span than asphalt roofs. See Roof requirements for coverage from his Agent's manual, Exhibit A.

**from my conversation with my roofer who is an Owens Corning Platinum Preferred Contractor, placing him among the top 1% of asphalt roofing contractors in the nation, "roof warranties are just a piece of paper, everyone in the business knows that asphalt is only going to last at best 15 years in Florida and does not hold up to winds like metal. There is so much in the fine print that homeowners never understand. If you can afford the initial cost, a metal roof is the best roof in Florida." See his paperwork on metal roofing Exhibit A.

Exhibit A

Tower Hill Insurance Exchange
Homeowners HO-3 Program
Agent Manual

Effective:
01/10/2022 New Business
01/10/2022 Renewals

Homeowners Program

ELIGIBILITY – UNDERWRITING	1
GENERAL	1
INELIGIBLE RISKS	1
HEATING, COOLING, ELECTRICAL, AND PLUMBING	2
APPLICANT	2
OCCUPANCY/USE	3
SECONDARY/SEASONAL RESIDENCES	3
UNACCEPTABLE SINKHOLE LOSS COVERAGE RISKS	3
SWIMMING POOLS (New and Renewal Business)	3
AGE (New and Renewal Business)	3
ROOF (New and Renewal Business)	4
TOWNHOUSE/ROWHOUSE	4
INSPECTION REQUIREMENT	4
FINANCIAL RESPONSIBILITY (INSURANCE SCORE REQUIREMENTS)/GUIDELINES	4
BINDING AUTHORITY	5
APPLICATION	5
BINDING	5
PRIOR INSURANCE	5
PREVIOUS CANCELLATIONS/NON-RENEWALS	5
HURRICANE-TROPICAL STORM	5
BINDING AUTHORITY LIMITS/PROGRAM DESCRIPTION	6
LOSS SETTLEMENT	6
COVERED PERILS	6
GENERAL RULES	7
POLICY TERM	7
RENEWAL PLAN	7
PROPERTY VALUE ADJUSTMENT	7
CANCELLATION OR REDUCTIONS IN LIMITS OF LIABILITY OR COVERAGE	7
MULTIPLE COMPANY INSURANCE	7
TRANSFER OR ASSIGNMENT	7
SINGLE BUILDING DEFINITION	7
PROTECTION CLASS INFORMATION	8
CONSTRUCTION DEFINITIONS	8
MANDATORY ENDORSEMENTS	9
WAIVER OF PREMIUM	9
PREMIUM ROUNDING	9
MINIMUM PREMIUM RULE	9
PREMIUM CALCULATION	10
AMOUNT OF INSURANCE	10
AGE OF DWELLING	11
TOTAL RENOVATIONS	11
WINDSTORM OR HAIL LOSS TO ROOF SURFACING PAYMENT SCHEDULE	12
PROTECTION CLASS/CONSTRUCTION FACTORS	13
BUILDING CODE EFFECTIVENESS GRADING	13
PREMIUM FACTORS – NON HURRICANE BASE RATES	15
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CREDIT CARD, FUND TRANSFER CARD, FORGERY AND COUNTERFEIT MONEY	21
RENTAL TO OTHERS – THEFT COVERAGE	21
COVERAGE B – OTHER STRUCTURES	22
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ROOF (New and Renewal Business)

- Roof must be in good condition.
- Risks with structures having unusual roof shapes including, but not limited to: round, shed or dome are ineligible.
- Roof cover materials other than asphalt shingle, clay tile, concrete tile, slate tile, or metal (not including tin), rolled, rubber, built up (tar and gravel), modified bitumen membrane and reinforced concrete roof decks are ineligible.
- **Roof is worn** or has unrepaired damages, including evidence of curling, lifting, buckling, **patches**, or broken tiles, **shingles**, or metal panels are ineligible. There can be a maximum of one layer of shingles on the structure. **Only replacing portions of shingles does not qualify as repaired damage.**
- Homes with roofs repaired or replaced that do not have the required permit and approval are ineligible.
- Solar tiles, shingles or solar roof systems are not eligible.
- **Homes with roofs older than**
 - **Shingle and all acceptable roof materials other than Tile and Metal more than 15 years**
 - Tile roofs more than 25 years
 - Metal roofs more than 25 years

TOWNHOUSE/ROWHOUSE

- Each unit must be separated by parapet walls or adequate masonry firewalls.
- There may be a maximum of 8 units per building.

INSPECTION REQUIREMENT

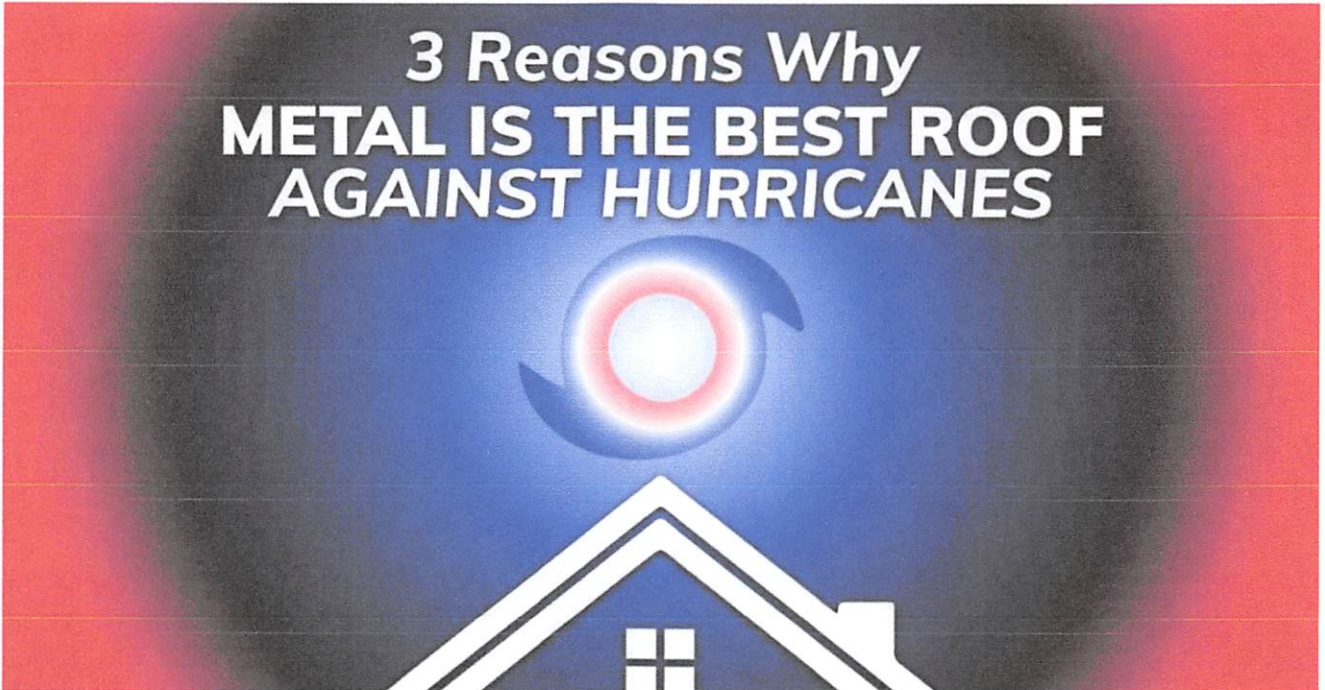
- **All Risks** – All properties, New and Renewal, may be subject to an exterior and/or interior inspection (which may include a complete Home-Self Inspection). Failure to comply with this inspection, including all photo requirements, may result in adverse underwriting action to include cancellation or non-renewal of the policy. In its discretion, Underwriting may pre-approve the use of an alternative home inspection method; however, the cost of any such approved home inspection is the policyholder's responsibility.
- **Older Homes** – For new business risks 30 years or older, a four-point inspection completed within the last year documenting the condition of the home's electrical wiring, heating/cooling, roof, and plumbing must be provided at submission. Inspections must be completed and signed by either a Florida licensed general or building contractor, building inspector, architect, engineer, or a member of the American Society of Home Inspectors (ASHI), the Florida Association of Building Inspectors (FABI) or the National Association of Certified Home Inspectors (NACHI). For renewal business when the dwelling is at least 30 years or older, a four-point inspection will be completed by a qualified inspector, which will be selected by the company and the full cost of the inspection will be paid by the company. Renewal business will be notified at least 180 days prior to the expiration of the current term that the four-point inspection will be required.

FINANCIAL RESPONSIBILITY (INSURANCE SCORE REQUIREMENTS)/GUIDELINES

- Insurance score is ordered on the primary named insured.
- The insurance score will apply to all new business and renewal. The insurance score will automatically apply to subsequent renewals, as required by Section 626.9741 (7)(a), Florida Statute.
- A transitional insurance score will be available at the customer's option and with company approval in advance, for applicants purchasing a newly built, first time deeded home from a builder providing a homeowners warranty. This transitional insurance score will reflect the No Hit/No Score factor, and will apply for the first two policy terms. We do not make adverse underwriting decisions when the insurance score cannot be generated for either a No-Hit/No-Score or lack of data.
- The insurance score used, including No-Hit/No-Score, will apply for a minimum of 12 months except in cases where corrections have been made for errors in the insured's credit history file with the national credit bureaus. A better score obtained in this process will be applied back to the beginning of the current policy term. The credit report can be ordered at the insured's request annually.
- If an applicant or policyholder can prove that an "extraordinary life event" (such as dissolution of marriage, the death of a spouse, or temporary loss of employment) negatively impacted their insurance score, then the policy will be re-rated based on a No-Hit/No-Score insurance score.
- Insurance Scores will be re-ordered prior to renewal once every two years, or at the request of the insured, whichever is sooner. The resulting insurance score will be reflected in the renewal premium.

EXHIBIT A

3 Reasons Why Metal Is The Best Roof Against Hurricanes



Hurricanes and tropical storms are an inevitable part of living on the coast of Florida. And while you can't change Mother Nature and her decisions, there are actions you can take to protect your home and prevent significant damage during hurricane season. One of these is to install a metal roof.

It's not uncommon to see wind-damaged roofs after a major hurricane has ripped through the area. But as one of the most resistant roofing materials available, a metal roofing system can help your home withstand a hurricane. With that in mind, here's a look at 3 ways **metal roofing** can protect your home during a hurricane.

1. Wind Uplift Resistance

A house is an obstruction to wind flow and causes a change in air pressure and airflow over the home's surface. Roof damage is caused by wind uplift when air pressure below the roofing system is greater than above the roof.

During high winds, the pressure above the roof surface decreases while the air pressure inside the building increases due to air infiltration through openings and cracks. This

creates a push-pull force that separates the roofing materials from the roof deck. In the worst-case scenario, the roof deck could also detach from the supporting structure.

Metal roofing is extremely wind resilient and can withstand abuse from high winds without losing durability. Most metal roofs have a wind resistance rating of up to 150mph, making them ideal for hurricane-prone areas. By contrast, standard asphalt shingles can only withstand wind speeds of up to 110 mph.

Metal roofs' superior wind resistance can be attributed to their design and construction. The overlapping panels interlock on all four sides, leaving little room for hurricane-force winds to penetrate under the materials and cause uplift.

What's more, most metal roofs are joined together with concealed fasteners, which aren't exposed to the elements. This decreases the chances of deterioration and failure. The use of hidden clips and screws also provides a better allowance for expansion and contraction without compromising the structural integrity of the roof.

2. Wind-Blown Debris Impact Resistance

In strong wind events such as hurricanes, windborne debris is one of the leading causes of roof damage. Homes with metal roofs can hold against the severe hurricane-force winds and debris. The metal panels have an inherent toughness which allows them to withstand the impact of windborne debris, especially when they have a thicker gauge.

Many metal roofs have a Class 4 Impact Resistance rating. Assigned by the Underwriters Laboratories (UL), Class 4 is the highest impact-resistant category. In UL testing, a 2-inch diameter steel ball is dropped from varying heights onto a newly manufactured roof covering. For a metal roofing to earn the title of a Class 4 rating, the panel must not crack, split, break, fracture, tear, or rupture upon impact.

Even in extreme hurricanes, damage to your metal roof will take the form of dents. While a dented roof might be considered unsightly by some homeowners, denting will not cause a roof to leak or fail if the impact is severe enough.

3. High Durability and Long Service Life

Out of all roofing materials, metal roofs have one of the longest lifespans, even rivaling classic options like tile and slate. If installed correctly, your metal roof will easily shrug off even the most debilitating weather conditions.

The adhesives used to bond shingles and tiles wear down over time in Florida's intense heat, rain, wind, and strong UV rays. Conversely, metal panels are firmly locked into place and won't break down as quickly as other materials.

Metal roofs made of galvanized steel have an expected lifespan of 50-70 years. Those made of copper can remain useful for 100 years or more when properly cared for. Traditional asphalt roofing materials have an estimated life expectancy of roughly 12-20 years.

Correct Metal Roofing Installation Matters

While metal roofing beats out conventional roofing materials in many ways, its durability is only as good as the quality of installation. Metal roofs are relatively complex and require a high degree of precision during the installation process. When mistakes are made during installation, your metal roof will lose its weather resilience and durability, leading to a drastically reduced lifespan.

As such, you want to make sure you hire a Florida roofing contractor with specialized skills and experience installing metal roofs.

Elevate Your Home's Defense Against Hurricanes

Metal is increasingly becoming the roof of choice in Florida. With exceptional wind resistance, impact resistance, fire resistance, low maintenance, and a longer lifespan, your metal roof will protect your home against the region's harsh storms. While others are picking up shingle fragments after a hurricane, your metal roof will be standing tall and in pristine condition.

(b) The Planning Department is using a Sanborn map from 1951 to determine that the house's "original roof" was shingle and therefore not eligible for a standing seam metal re-roof. The house was built in 1922, that's almost thirty years before the map was last updated in 1951. When the maps were updated they pasted changes over the previous map, so unless you have the original map you don't know what was on the previous copy. The house shows many signs of an early remodel with the front side veranda enclosed (see my COA appeal pictures) as well as the entire back of the house's upper and lower porches enclosed (the laundry and utility rooms have exterior shingles on the inside walls, exterior porch flooring and are not air conditioned). It is just as likely that when they did this early remodel they also changed the metal roof to a different style as roofing styles changed and 29 years is a long life for one roof. In the late 1800's and early 1900's standing seam metal roofs were more widely used but were prone to rusting. By the 1930's there were more roofing options and tastes had changed. With the exception of one, the remainder of the houses on our street were built in the 1930's.

(c) The lower section of the carriage house has a metal roof, that is depicted as being metal on the 1951 Sanborn map. I expressed to Jermaine Jackson, at the planning department, that it could indicate that the house could have had all metal roofing before the remodel. He emailed back that based on the map we could only use metal on that portion. When I received the Planning Department's recommendation to JHPC it included, "based on the Sanborn map for the property, the primary structure had a composition main roof at the time of the survey. Additionally, the secondary structure in the rear of the property also had a composition roof. At some point in time, an addition with a metal roof was added on to the secondary structure." I immediately emailed Mr. Jackson to ask where he got this information from. I explained that I had just had a contractor and his structural engineer out to make suggestions on repairing the failing foundation of the carriage house and they had pointed out that, "we will never see buildings like this again. You can see that the 2x4 framing studs go from the ground to the second story roof, because old growth lumber was longer and stronger." I explained to Mr. Jackson that the carriage house apartment sits on top of the metal roof and that would have made it impossible to have it be a later addition. He did not respond. I sent pictures of the carriage house second story sitting "on" the metal roof to prove it was not added later and he still did not respond. I think this piece of incorrect information was included to sway the JHPC to not consider my early remodel suggestion.

FROM ONE OF MY EMAILS:

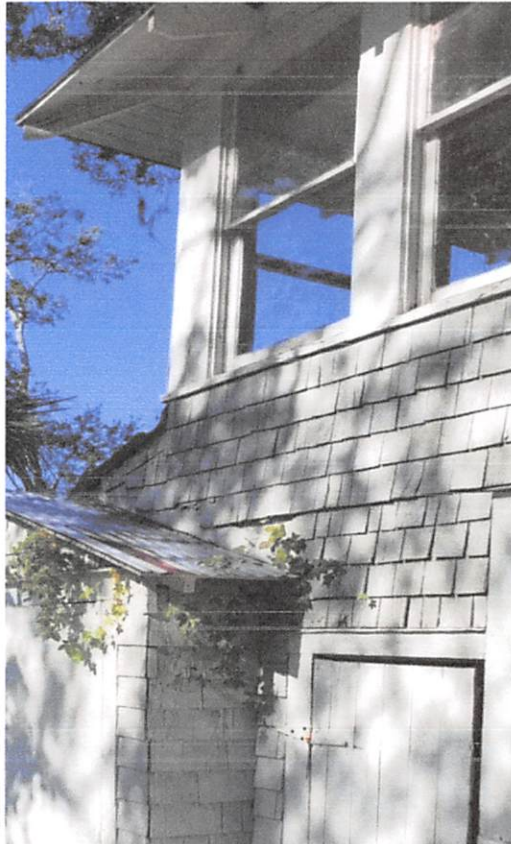
Thanks Jermaine,

No questions, other than where you got the information about the lower level of the carriage house being a later addition? The lower level of the carriage house is definitely original, not an addition, not sure where you came up with that? If you have any remodel or permit information on my house, I would love a copy of it. I've already had an architect (who we did not hire, because he said he could easily get it condemned and demolished for us in its current state), 2 contractors and 2 structural engineers out to figure out how to repair the damage done by decades of neglect. That metal roofed section sits under the back of the apartment, which is also original, so it was not added later. That's probably why it still has a metal roof, it is going to be hard to remove and re-roof, regardless of what roofing material is used.

Construction of the carriage house matches the main house. If anything was changed in the 29 years between the 1922 build and the 1951 map, it was probably enclosing the back porch of the carriage apartment. Similar to the main house veranda and upstairs back porch.

It is more likely that the metal roofing was original roof, because as you can see the apartment actually sits on top of it.

That is probably why they didn't re-roof it with asphalt shingles, when the roof was changed. Our roofer says he will have to remove the siding shingles in order to remove the old metal roof and then put new flashing on before the roof material. Then replace all of the wood shingles. Making it an expensive undertaking.



(d) In researching the Sanborn map they used I was able to find **MANY examples of roofs that do not match their designation on the map.** Both houses that should have tile, slate or metal, but now have asphalt, and houses that should be shingles, but are metal or barrel tile. I provided just a few examples that show that **the Sanborn map is not a reliable source for roofing material (SEE COA APPEAL FOR LIST AND PICTURES).** Unfortunately, I was not told to provide my material before the meeting, and it was not given any attention at the meeting. We were the next to last COA at the end of a double meeting, due to the September meeting being cancelled for Hurricane Ian. Obviously it was a long evening for everyone. **I think if the Planning department had my written information they may have made a different suggestion to the JHPC.** I also believe that had it been a normal length meeting the JHPC would have read my presentation and perhaps agreed to allow the metal roof. I have read meeting minutes where the JHPC allowed metal roofing for lesser arguments than what I provided, overturning the Planning department's denial.

e) Most houses built 100 years ago do not have available pictures, which is what the Planning department would require from me to replace the current **(non-historical) asphalt roof with anything other than asphalt.** The earliest pictures that RAP had are from the 1980's. I have read the entire "Historic Preservation Guidelines for the Riverside Avondale Historic Districts" and it only mentions the Sanborn maps as a tool homeowners can use to research when their house was built. It does not say anything about the JHPC using it to determine roofing material. I asked the Planning department where they were directed to use this method for roofing COA's and the answer was, *"There is not a designated section in the Design Guidelines that defines what resources the Department can and cannot use. The Department has the discretion to use any resource (i.e., Sanborn maps, site files, news directory, etc.) that documents the history of a property."* For those not familiar with the Sanborn maps they were originally created for fire departments and insurance agencies. I do agree that they provide useful information on time of construction and original footprint for owners and Historical societies but **clearly are not always accurate for original materials.**

****Another flaw in using the maps for this particular instance is an open circle "O" on a section of roof only denotes, "noncombustible roof covering of metal, slate, tile or asbestos shingles", which means even if our house had asbestos "shingles" instead of composition "shingles", we would be allowed to put a standing seam metal roof on because the Planning department has no way of knowing what kind of "noncombustible" roof it was!**

(TILE)	Tile building.
NUMBER OF STORIES 4	Brick building with frame cornice.
TWO STORIES AND BMT COMPOSITION ROOF	" " " stone front.
SHINGLE ROOF	" " " frame side (DIVIDED BY FRAME PARTITION)
(VEND)	Brick veneered building.
BRICK 1ST	" and frame building.
FRAME, BRICK LINED	Frame building, brick lined.
NON COMBUSTIBLE ROOF COVERING OF METAL, SLATE, TILE OR ASBESTOS SHINGLES	Brick building with brick or metal cornice

The Lakeland Historic District, where we used to live, used the exact same federal guidelines to form their historic COA rules, but instead of pictures from a century ago, Sanborn maps or, “you must stay with asphalt if you currently have asphalt”, they allow most historic homes to reroof with standing seam metal because that was one of the most common materials used 100 years ago.

FROM PAGE 23:

MINOR REVIEW FOR COA

- Reroofing. The removal and replacement of roofing materials, provided that no other significant alterations are made, i.e. change to roof pitch or shape, or removal of architectural roof features, dormers, and chimneys. Proposed replacement materials must be similar to existing materials. 5V crimp and standing seam metal roofing can replace shingle roofing for certain architectural styles.

FROM PAGE 190:

Metal roofing policy

Historic Preservation Board

The Historic Preservation Board’s policy for roofing materials is based on the recommendations from the Secretary of Interior Standards for Rehabilitation Standards: 2, 4, 5, 6, 9 and Preservation Brief number 4; Model Guidelines for Design Review, Division of Historical Resources, Florida Department of State, and Traditional Construction Patterns: Design and Detail Rules-of-Thumb by Stephen Mouzon and Susan Henderson. The Secretary of Interior’s Standards for Rehabilitation recommend that deteriorated roof surfacing should be replaced with matching materials or new materials in dark shades that match the original in composition, size, shape, color, and texture. Replacement material must be compatible with the overall design of the building. Colonial Revival, Queen Anne, Frame Vernacular, Shotgun, and Craftsman Bungalows are appropriate styles of housing in Lakeland that are compatible with metal roofing material. New materials, such as roll roofing, whose composition, size, shape, color, and texture alter the appearance of the building, are not recommended. The two acceptable metal roofing types are 5V crimp and flat-panel standing seam. Flat-panel standing seam roofing utilizing hidden- fasteners should be installed in panels 16 to 18 inches wide. The seams should be as thin as possible (1/4” wide maximum) and as short as possible (1 ½” tall maximum). Colors must be either plain metal or dark, subdued shades.

Now that Riverside Avondale Historic District has transitioned from preventing homes from being demolished in a blighted area to a thriving district with home prices skyrocketing, it may be time to revisit some of the guidelines from thirty years ago?

In their denial the Planning department cited Jacksonville's municipal code Sec. 307.106. - Approval of changes to landmarks, landmark sites, and property in historic districts; application procedures states:

Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. However, technologically advanced materials shall be considered and used as replacement alternatives.

FROM PAGE 56 OF RIVERSIDE AVONDALE PRESERVATION GUIDELINES FOR ROOFING:

Where existing roofing material is non-original, there is greater flexibility. The existing roof may be retained, replaced in a manner known to be accurate based on documentation or physical evidence, or treated in a contemporary style in compliance with Standards 4, 6, and 9. In reviewing replacement of non-historic roof surfacing, it is important to keep in mind, Standard 9. Even if the existing surfacing is inappropriate, the replacement material must be compatible with the overall design of the building.

This gives the Planning department and JHPC the ability to allow a change to the current roof materials. Even if they believe the house originally had shingles, they are allowed to accept a metal roof that would be a superior material to the current asphalt roof and a historically correct material.

In closing, the roofing material is barely visible from the front façade on Morningside Street and the side of the house sits at a dead end with only three houses, one of which has a metal roof. I do not want to change any of the architectural details of the house, I love old homes and agree that we should keep as many of the original details as possible. I am only asking to be allowed to provide the best roof possible to protect this house and our financial investment in it. The metal roof is architecturally appropriate and a material that was widely used in 1922. The asphalt roof they want me to use was not even available in 1922, so it would not be more historically accurate. Asphalt will not last as long or protect the house as well as a metal roof.

(4) LIST OF NAMES

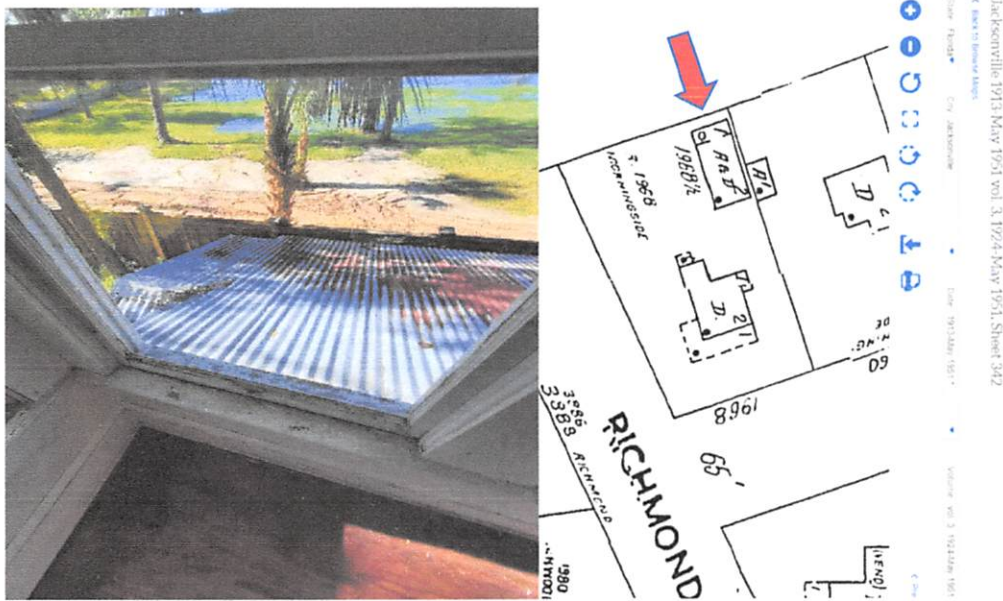
Kimberly Baker, 6127 Anchor Lane Rockledge, FL 32955

Owner of 1968 Morningside that is currently under repair, Provided written appeal to the JHPC

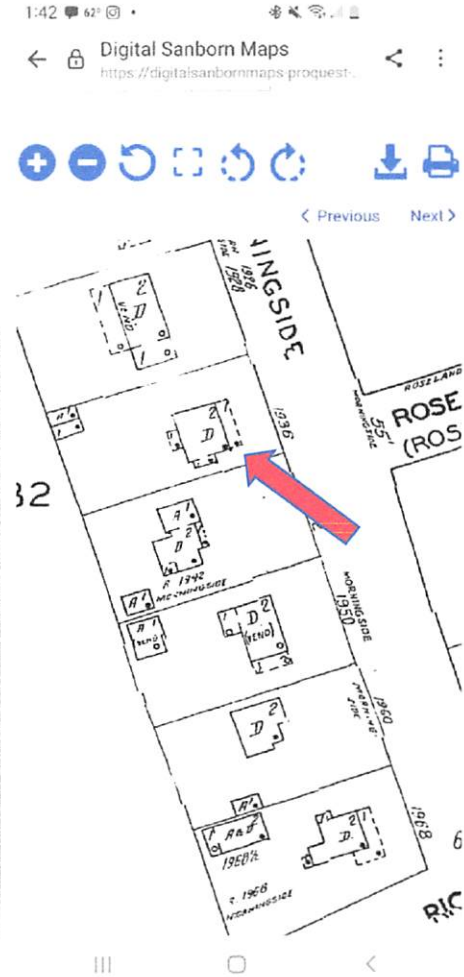
Ian Baker, 2244 College Street, Jacksonville, FL 32204 Presented the appeal

COA# 28217
1968 MORNINGSIDE
METAL REROOF REQUEST

1.) 1968 Morningside was built in 1922. The Sanborn fire map COJ COA is using is from 1951. There is no way of knowing that our roof had not already been replaced by 1951, 29 years after its original construction. It is just as likely that the entire house was covered in metal, like the current picture, see below, of our lower-level roof on the carriage house. It is shown on your fire map as being metal in 1951. There is evidence of very early remodeling to change the character of the house. Judging by the ceilings that have collapsed in the sunroom, exposing original beadboard, and the second set of entry doors inside, the lower front and side were probably an open porch (veranda) that was then closed in. See below picture, circled area was an open porch.



The only other house in our Arden neighborhood of Avondale built that year is 1936 Morningside. It also has black circles, designating no tin roof on the Sanborn map, but pictures from the RAP files show it clearly had a metal roof on the front enclosed porch. See 1936 Morningside RAP picture and Sanborn map below.



There are too many examples of the Sanborn map being incorrect for it to be used as the absolute word on what was present in 1922, and what should be allowed now.

It would make more sense to take into consideration the year the house was built and whether the material would have been period appropriate and architecturally appropriate. This is a 1922 wood frame house with cedar shingle siding. There are many examples in Avondale of this type of house, from the 1920's having a metal roof.

There are many examples of homes designated as not having a non-combustible roof, like our house on the map, that now have a roof that would be marked "O" as non-combustible. All of these homes have been listed as contributing. Here are just a few:

2779 Oak built 1921 *bungalow with cedar shingles has a metal roof

3685 Hedrick built 1926 has a metal roof *cedar shingles, wood frame

3669 Pine built 1917 has a metal roof *bungalow

3893 Oak built 1927 has a metal roof *bungalow

3513 St. John's built 1937 has a metal roof

1828 Greenwood built 1939 has clay barrel tile roof (in our Arden neighborhood)

3924 Dupont built 1928 has clay barrel tile (also in our neighborhood)

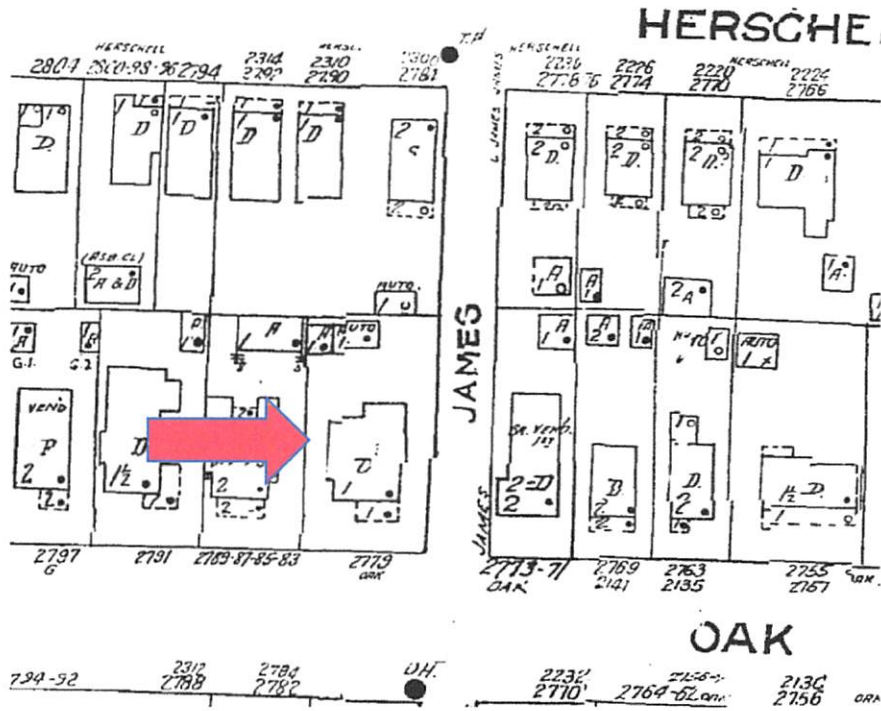
*3804 Valencia built 1922 * bungalow, was denied COA on a metal roof/ appealed to JHPC and was granted metal roof based on Sanborn maps not being accurate.

Historic preservation guidelines do state that bungalows usually had "composition or asbestos shingles"; however, there are many examples of the early bungalows having metal roofs.

Our house is listed as being a type V bungalow; however, 1936 Morningside, also built in 1922 (see above), is listed as frame vernacular. An architectural style that according to RAP guidelines usually had a sheet metal roof. Our house has a full second story, a full-length veranda and no short oversized columns, it has more characteristics of a frame vernacular, than a bungalow.

Either way, there are examples of exceptions in roofing materials seen for both styles. The RAP guidelines are meant to represent what materials were most commonly used, not the only options possible. Keep in mind, according to the way the Sanborn map is being used for COA, if our house had asbestos shingles it would have had a designation of "O" and we would be granted a metal roof. See Sanborn key that does not differentiate between 4 non-combustible roof materials.

(TILE)	Tile building.
NUMBER OF STORIES 4	Brick building with frame cornice.
TWO STORIES AND BSMT 20 COMPOSITION ROOF	" " " stone front. " " " frame side (DIVIDED BY FRAME PARTITION)
SHINGLE ROOF V	
(VEND)	Brick veneered building.
BRICK 1ST	" and frame building.
FRAME, BRICK LINED	Frame building, brick lined.
NON COMBUSTIBLE ROOF COVERING OF METAL, SLATE, TILE OR ASBESTOS SHINGLES	Brick building with brick or metal cornice.



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Mar 4

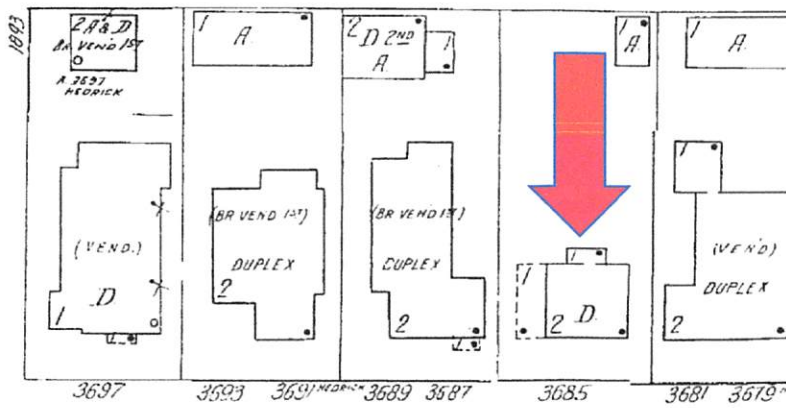
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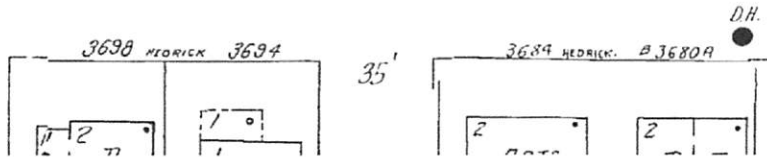
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preservationjax Plan out your day ahead of Garden Tour! We've got our full list of tour locations and activities you can expect to enjoy this Saturday listed on our website (link in bio)

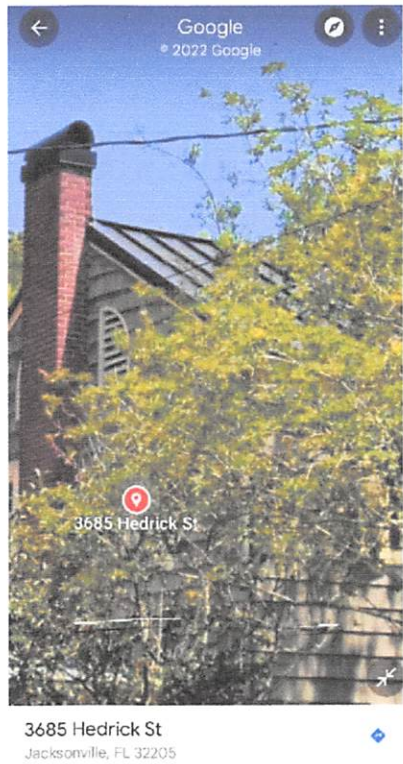
2779 OAK STREET
 CEDAR SHINGLE
 BUNGALOW
 BUILT IN 1921
 FEATURED ON
 RAP TOUR



==== HEDRICK

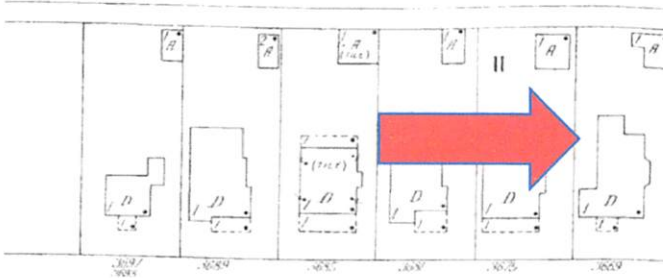


3685 HEDRICK, WOOD
 FRAME, CEDAR SHINGLES,
 BUILT 1926



3669 PINE STREET, BUNGALOW BUILT 1917

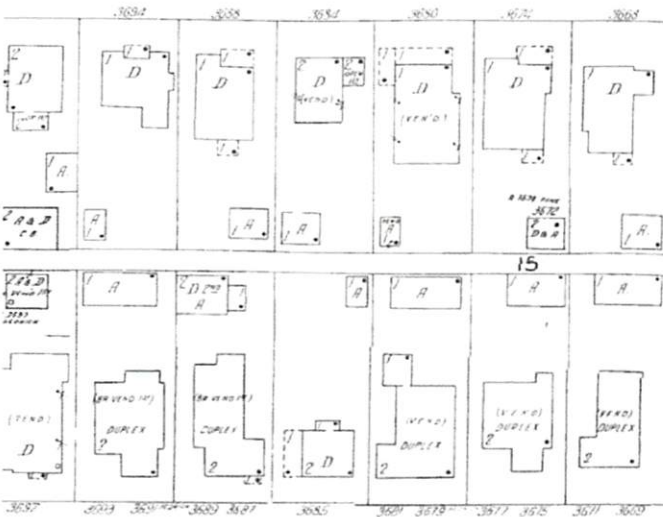
355



Zillow App



PINE



3 bd 1 ba 1,644 sqft

3669 Pine St, Jacksonville, FL 32205

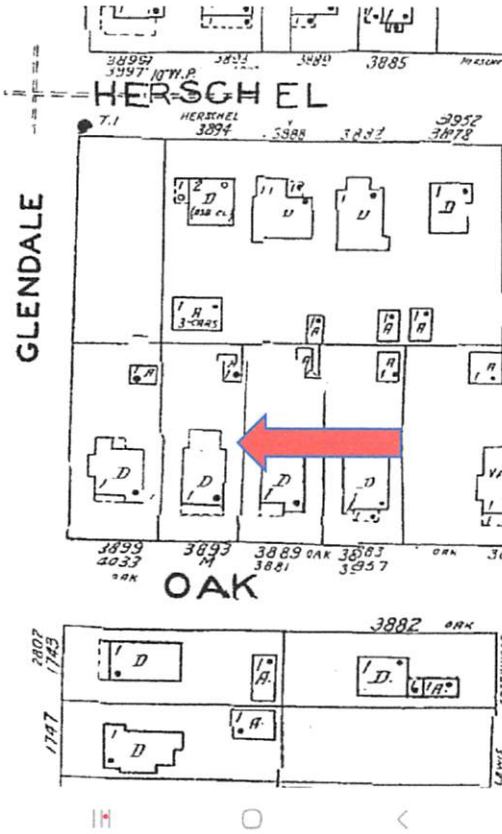
HEDRICK

3893 OAK STREET, BUNGALOW BUILT 1927

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12:35 66° zillow.com/homedetai + 27

Zillow Sign in

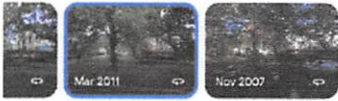


3 bd 2 ba 1,581 sqft
3893 Oak St, Jacksonville, FL 32205

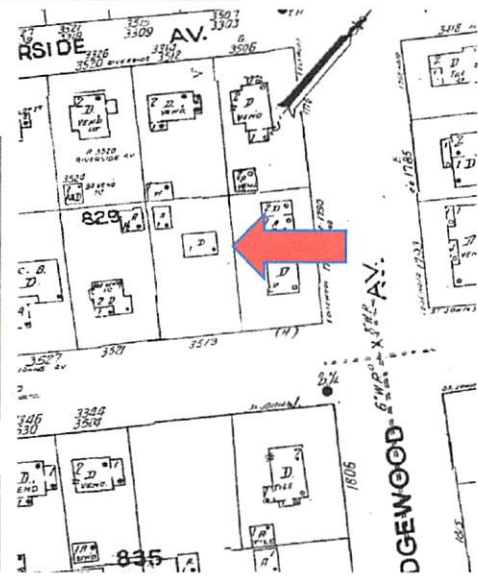
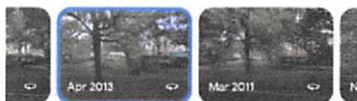
3513 ST. JOHN'S, BUILT 1937

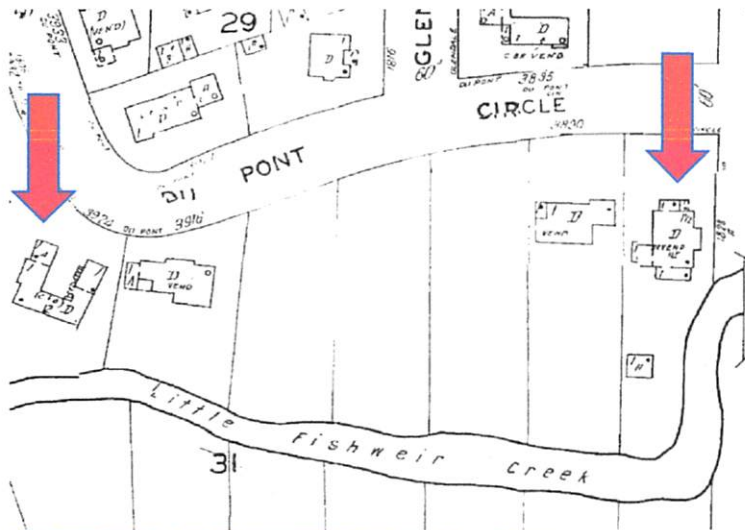


3513 St Johns Ave



3513 St Johns Ave





SANBORN MAP SHOWS BOTH HOUSES AS NOT HAVING A BARREL TILE ROOF. THIS IS AT THE ENTRANCE TO OUR NEIGHBORHOOD.



3924 Dupont Cir

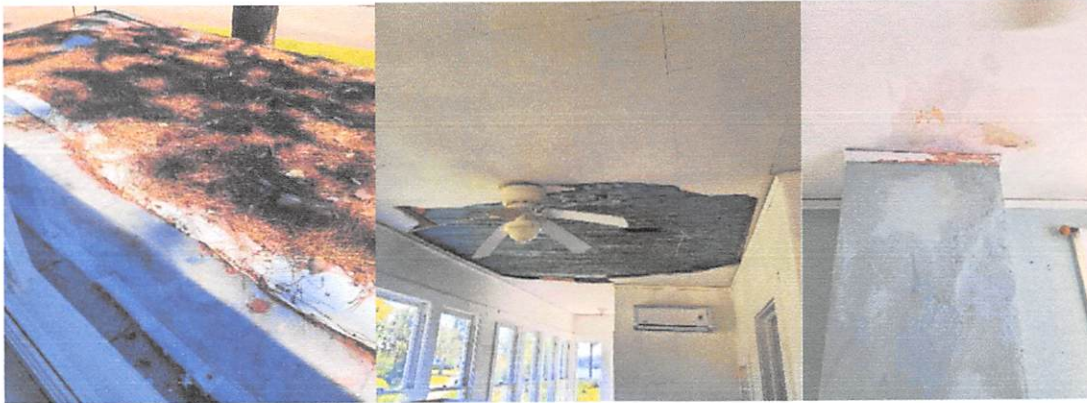


6 bd 4 ba 4,535 sqft
1828 Greenwood Ave, Jacksonville, FL 32205

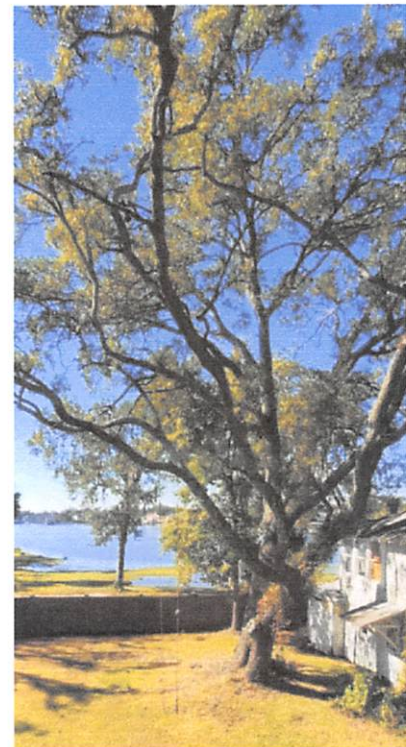
2.) Please see pictures of the current condition of the roof and ceilings. The previous owner sustained roof and foundation damage during Hurricane Irma, over five years ago, but did not make any repairs. She had tarps, shower curtains and bricks covering the first-floor roof. This house will need hundreds of thousands of dollars in repairs and upgrades, due to her neglect. We were unable to secure a conventional mortgage for this property, because of the deteriorated condition it was only qualified for a construction loan.

There are still many homes in the RAP area deteriorating because of owners that cannot afford proper maintenance and repairs, like new roofs.

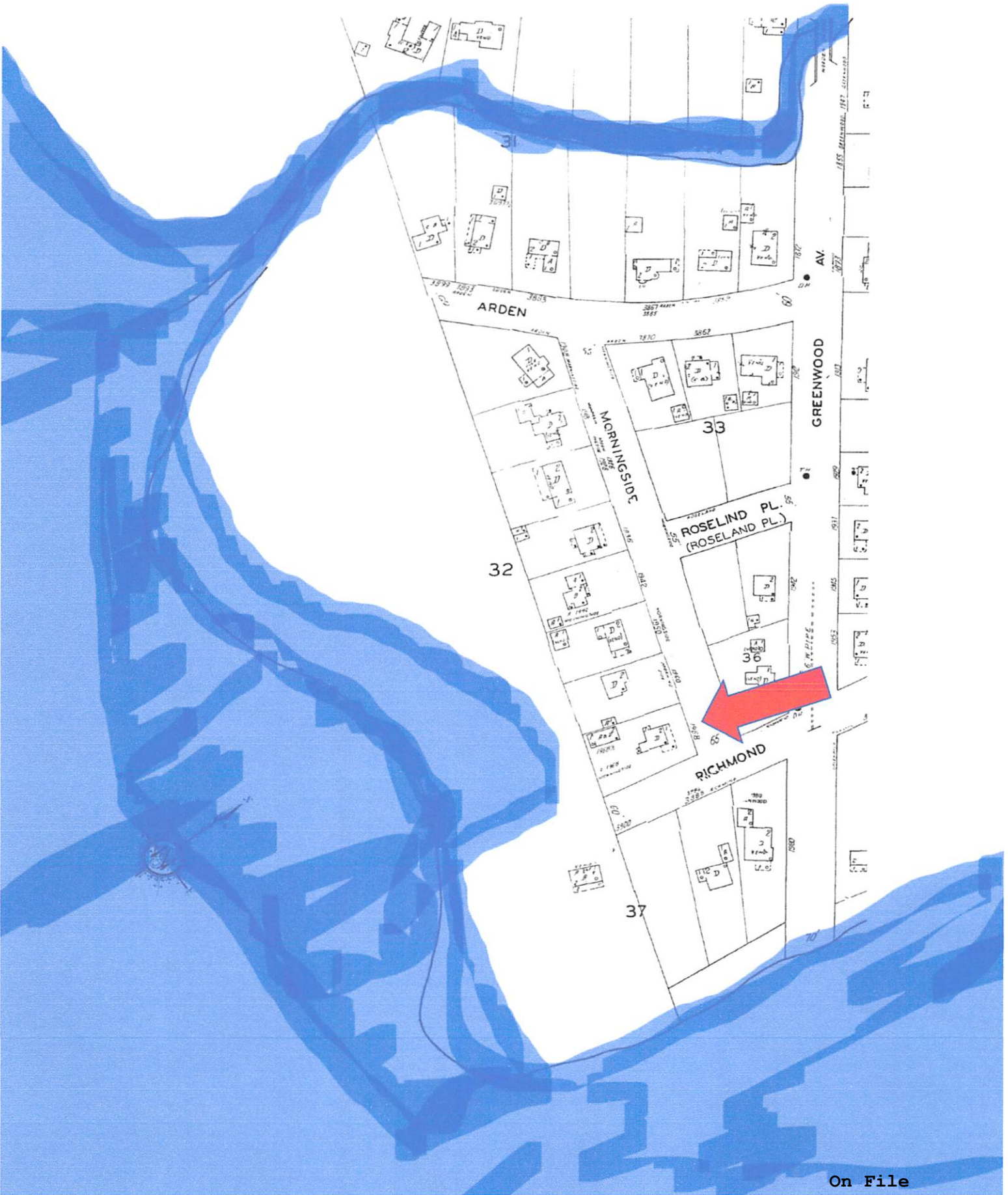
We are currently able to afford this metal roof that was two and half times the cost of the shingle roof quote. No one knows what the future holds financially for them, who's to say we will be financially able to replace a shingle roof in 15-20 years once we are retired and on a fixed income? This roof can last as long as 70 years and will protect this house long after we have moved on. Considering the shorter life span of shingle roofs, that could be as many as four replacements in the same time period. I would argue that it does not make sense to allow cheaper shingle replacement roofs, not a material used in the 1920's, on historical homes, but not allow upgrading to a structurally superior metal roof that was actually a roofing material used in the early 1920's. If JHPC's purpose is to preserve these century old homes, a metal roof with a potentially 70-year life span should be encouraged, if the homeowner can afford it!



3.) The house sits 300 feet from the St. John's River and less than 95 feet from the entry of Fishweir Creek. As Hurricane's continue to be more frequent and more destructive than in the past, JHPC should begin reconsidering improvements that will protect our historical homes from both wind and flood damage from future storms. This is the reason we are planning on putting a metal roof on this house. It has superior wind ratings, a far superior waterproof layer as well as being able to withstand impact from falling branches that would crack shingles. We have several large trees above the house and carriage house that are a major concern during high winds. Below is an aerial picture of proximity to open water and one of the oak trees between main house and carriage house. Considering it is just a matter of time before our area is hit with a major hurricane, I can't imagine JHPC has the right to prevent us from providing the best protection for our financial investment in this property. I'm curious to know if you have investigated your legal standing if a house denied a metal roof sustained roof damage from a storm?



**After writing this for your review, we were barely hit by Hurricane Ian. Our yard was flooded up to the main house and the ceilings were drooping with even more water. I had the roofer remove the tarps and repair over 700 ft. of rotten boards over the porch, sunroom and living room on the first-floor roof. He was then able to put the waterproofing layer down until we resolve the COA on the metal roof.



4.) Please see renditions of the house with a Galvalume metal roof. The front view of the house on Morningside Street barely shows any roofing material and the architectural aspects of gabled second story and hip main level will be completely unchanged. First picture was the porch roof covered in shower curtains, tarps, bricks, and leaves for over five years since hurricane Irma. Second picture is wood repaired and waterproof layer added, ready for roofing material.



The side of our house is on a dead end, with only three homes, one of which has a metal roof. Again, metal would replace her old tarp roof, but there will be no changes to any architectural elements. I think you can agree the metal roof does nothing to distract from the home's historical architecture. I hope you will agree that seeing it repaired with a metal roof after five years of tarps will greatly improve its appearance.

Thank you for your consideration,
Kimberly Baker



PRIME

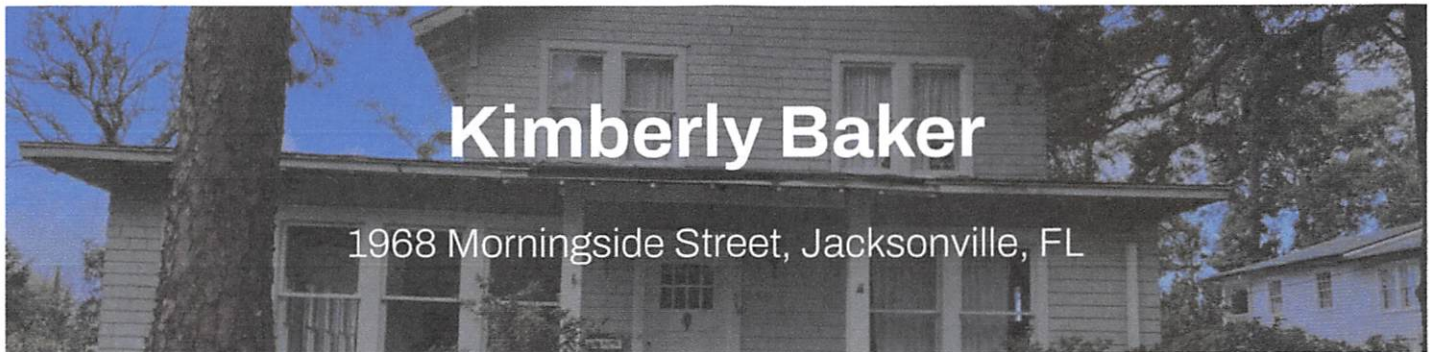
ROOFING

Thank you for the opportunity to provide a proposal to install the roof on your upcoming project.

Prime Roofing has been providing dependable roofing service to the Jacksonville area since 2010. Our team's combination of professionalism, efficiency, and integrity delivers a modern spin on good old-fashioned service. Working with us is simple and predictable.

Your new roof will be replaced quickly, look great, and protect your home for years to come!

-Please review the details of our proposal below-

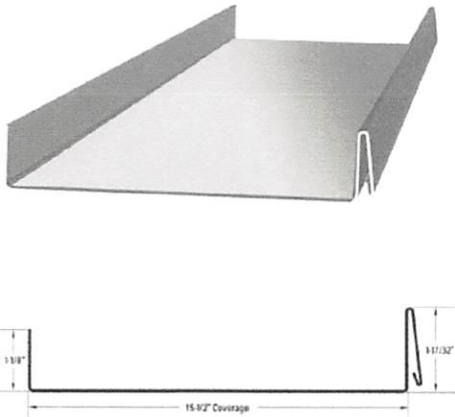
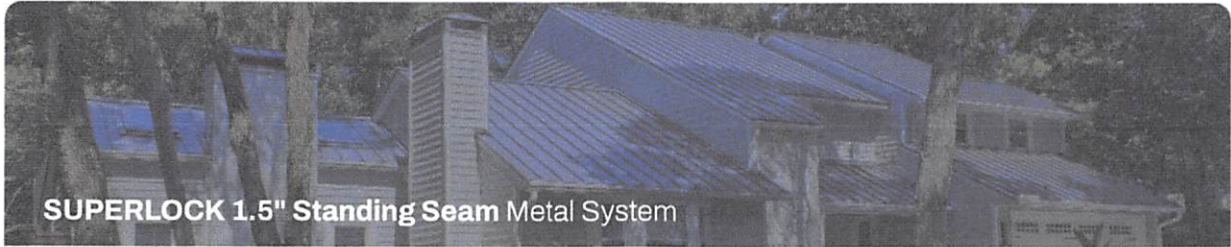


GOOD. BETTER. **PRIME**

Standing Seam Metal

Standing seam metal is a great upgrade for almost any home, especially when considering the cost vs benefit. **Metal roofs can outlast regular shingle roofs 3-4x and handle wind speeds of over 150mph!** We are one of the few companies in Florida that can supply, fabricate, and install your entire new roof in-house. Prime Roofing's metal division was created so that homeowners that want a standing seam metal roof can get one they are confident is installed properly and looks exactly like they expect.

Prime Roofing offers **two different styles** of standing seam roofing. Both systems utilize the same extra thick 24ga material but each is formed differently to provide a unique look and performance. Learn more about the differences between both systems by expanding the titles, below.



Description:

This style of standing seam is what many people imagine when considering a standing seam metal roof for their home. We call it "SuperLock" because it uses heavy gauge steel clips to secure the panel to the roof instead of a built-in fastening strip like the Standard 1" system. Also, the taller ribs of this panel create dramatic roof lines and the quintessential standing seam look. This style panel offers better aesthetics and a stronger installation, providing a truly exceptional roof system for your home.

- **Formal Profile Name:** Englert A1000 or New Tech SS450
- **Width and Rib Height:** 15.5" wide panel with 1.5" tall ribs
- **Attachment Method:** Panels are attached to the roof with heavy gauge clips that secure the panel to the roof deck. Adjoining panels lock on to the clip creating a solid attachment that also allows the panels to "float" during thermal expansion and contraction. This reduces the appearance of oil canning and makes the profile an excellent choice for homeowners that want a smooth panel finish.

Pros:

- "Proper" standing seam metal appearance
- Higher wind-rating
- Class 4 Hail Rated (highest available)
- Clipped attachment allows for more thermal expansion reducing oil canning (the appearance of dimples and waves in the metal)
- Dramatic, bold, roof lines
- Perfect for mounting solar equipment

Duval County, City Of Jacksonville**Jim Overton , Tax Collector**231 E. Forsyth Street
Jacksonville, FL 32202**General Collection Receipt**Account No: CR660894
User: Lahmeur, Merriane
Generic CRDate: 12/5/2022
Email: MGLahmeur@coj.net

Name: Legislative Services Division

Address: 117 W Duval Street, Suite 430, Jacksonville, FL 32202

Description: Appeal Filing Fee & Notice Fee for COA-22- for property located at , submitted by.

Fund	Center	Account	Project	Activity	Interfund	Future	Debit Amount	Credit Amount
00111	000000	104001	000000	00000000	00000	0000000	552.00	0.00
00111	221001	369050	000000	00000000	00000	0000000	0.00	552.00

Total Due: \$552.00**Jim Overton , Tax Collector**
General Collections Receipt
City of Jacksonville, Duval CountyAccount No: CR660894
Generic CR

Date: 12/5/2022

Name: Legislative Services Division

Address: 117 W Duval Street, Suite 430, Jacksonville, FL 32202

Description: Appeal Filing Fee & Notice Fee for COA-22- for property located at , submitted by.

Total Due: \$552.00

RECEIPT

DATE 12/5/22

No. 3406

RECEIVED FROM Jan Baker

\$ 552.00

Five hundred Fifty-Five

DOLLARS

FOR RENT OF Office of Appeal of Historic Preservation Commission

CB4-22-28217

ACCOUNT	
PAYMENT	<u>552</u>
BAL. DUE	

- CASH
- CHECK
- MONEY ORDER
- CREDIT CARD

FROM _____ TO _____
BY Sharada Davis

3-11



Planning and Development Department

Ed Ball Building
214 North Hogan Street, Suite 300
Jacksonville, FL 32202

NOTICE OF CERTIFICATION

RE: Certified List of Speakers for COA-22-28217

DATE: December 5, 2022

Please find attached:

- Certified list of speakers and those that provided written comments regarding COA-22-28217, heard at the October 26, 2022 Historic Preservation Commission meeting

If there are any questions, please contact me at (904) 255-7800.

Stephanie Pejsa, Executive Assistant
Community Planning Division
Planning and Development Department

October 26, 2022
Jacksonville Historic Preservation Commission
List of Speakers / Providers of Written Statements

COA-22-28217
Ian Baker
2244 College Street
Jacksonville, FL 32204



Planning and Development Department

Ed Ball Building
214 North Hogan Street, Suite 300
Jacksonville, FL 32202

NOTICE OF CERTIFICATION

RE: Certified Transcript of the October 26, 2022 Jacksonville Historic Preservation Commission Meeting

DATE: December 5, 2022

Please find attached:

- Certified Historic Preservation Commission Transcript for the October 26, 2022 meeting, including item COA-22-28217

If there are any questions, please contact me at (904) 255-7800.

Stephanie Pejsa, Executive Assistant
Community Planning Division
Planning and Development Department

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1 and it's something that I look at -- it's an
2 additional honor to take care of something that
3 makes it -- I look at it as something special.
4 So I would reiterate to the owners not to
5 look at it as a burden, but it's a special
6 aspect to the housing and to the whole
7 community.
8 That's all. I just wanted to reiterate
9 that. Thank you.
10 THE CHAIRMAN: Is there anyone else here
11 to speak on the COA?
12 AUDIENCE MEMBERS: (No response.)
13 THE CHAIRMAN: With that, we'll close the
14 public hearing, and I'll entertain a motion.
15 COMMISSIONER LOPERA: Motion to approve
16 COA-22-28171, allowing the applicant to install
17 barrel clay tile roofing.
18 COMMISSIONER EPSTEIN: Second.
19 THE CHAIRMAN: All those in favor?
20 COMMISSION MEMBERS: Aye.
21 THE CHAIRMAN: Those opposed?
22 COMMISSION MEMBERS: (No response.)
23 MR. REVELS: You specified clay?
24 COMMISSIONER EPSTEIN: Right.
25 THE CHAIRMAN: Yeah.

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(904) 821-0300

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1 THE CHAIRMAN: Approved by staff.
2 COMMISSIONER LOPERA: Approved by staff.
3 MR. REVELS: Okay.
4 THE CHAIRMAN: Second?
5 COMMISSIONER EPSTEIN: Second.
6 THE CHAIRMAN: All those in favor?
7 COMMISSION MEMBERS: Aye.
8 THE CHAIRMAN: Those opposed?
9 COMMISSION MEMBERS: (No response.)
10 THE CHAIRMAN: Hearing none, you have
11 approved COA-22-28171. And we'll move along to
12 COA-22-28217, 1968 Morningside Street.
13 MR. ANDERSON: COA-22-28217 is to reroof a
14 contributing structure within the Riverside
15 Avondale Historic District. The structure is a
16 two-story, bungalow-style, single-family
17 residence. The home was constructed around
18 1922 and is characterized by its shake siding,
19 one-over-one windows, exposed rafters, gray
20 shingled roof, and a small front porch.
21 The proposed scope of work is to replace
22 the existing roofing material with standing
23 seam silver metal roofing. The majority of
24 homes on this portion of the block have roofs
25 with either composition or asphalt shingles as

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1 MR. REVELS: Could we leave that open for
2 metal or concrete, whatever's going to be
3 available for me?
4 COMMISSIONER EPSTEIN: I would leave it
5 open for a cementitious material, if you wanted
6 to do metal, barrel cementitious material. If
7 you wanted to do metal, I want to see the
8 product, I want to see the pictures of it and
9 everything.
10 MR. REVELS: Okay. So you would say
11 barrel cement or tile?
12 COMMISSIONER EPSTEIN: Yes.
13 COMMISSIONER LOPERA: Then I'm going to
14 start all over.
15 THE CHAIRMAN: Yup.
16 COMMISSIONER LOPERA: Motion to approve
17 COA-22-28171 with barrel clay or concrete tile
18 roofing.
19 MR. REVELS: And color?
20 COMMISSIONER EPSTEIN: Color to match.
21 (Simultaneous speaking.)
22 COMMISSIONER LOPERA: With color approved
23 by staff.
24 MR. REVELS: Is that it? That sounds
25 good. Or similar color?

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1 roofing material.
2 Staff is recommending denial.
3 THE CHAIRMAN: Questions for staff?
4 COMMISSION MEMBERS: (No response.)
5 THE CHAIRMAN: All right. We'll open the
6 public hearing.
7 Is the applicant here?
8 AUDIENCE MEMBER: (Indicating.)
9 THE CHAIRMAN: Come on up.
10 (Audience member approaches the podium.)
11 THE CHAIRMAN: State your name and
12 address.
13 AUDIENCE MEMBER: Ian Baker, 2244 College
14 Street, here representing the owners of 1968.
15 THE CHAIRMAN: She's going to swear you in
16 real quick.
17 THE REPORTER: Are you an attorney?
18 MR. BAKER: No.
19 THE REPORTER: If you would raise your
20 right hand for me, please.
21 MR. BAKER: (Complies.)
22 THE REPORTER: Do you affirm that the
23 testimony you are about to give will be the
24 truth, the whole truth, and nothing but the
25 truth?

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1 MR. BAKER: I do.
 2 THE REPORTER: Thank you.
 3 MR. BAKER: I brought a couple of
 4 references for you guys just so it's not as
 5 confusing.
 6 (Tenders documents.)
 7 So 1968 Morningside was built in 1922.
 8 The reasoning we are given for not being able
 9 to replace the metal roof was that the Sanborn
 10 map as shown there next to it -- which the most
 11 current model that we were given from 1951,
 12 we're saying there's no way of knowing what the
 13 original roof was basing it off of the 1951
 14 Sanborn map.
 15 That picture at the beginning there is
 16 actually off of the back of a garage structure.
 17 And as you can see on the Sanborn map, that is
 18 the only portion open, meaning noncombustible
 19 in that case. We were told that wouldn't be
 20 enough for approval because that was in
 21 addition.
 22 Granted, there's no proof of that being an
 23 addition, and the second engineer we had look
 24 at that property said that the property was
 25 built all at once. It's got 20-foot-tall

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1 two-by-fours. There's no way that could have
 2 been added on later.
 3 The only other house built at that time in
 4 the neighborhood in 1936. If we're referencing
 5 the Sanborn map again, it would show that it
 6 should be a combustible form of roof with the
 7 closed-off blocks, but the picture on the RAP
 8 website actually has a metal roof on that
 9 structure.
 10 So there's a multitude of examples of the
 11 Sanborn map being incorrect or overruled in
 12 terms of preservation in the area.
 13 Historic guidelines do state that
 14 bungalows usually had composition or asbestos
 15 shingles. If there were any way to prove that
 16 it had asbestos tiles that would be considered
 17 a noncombustible material -- which means it
 18 would fall under being able to replace it with
 19 either barrel tile or some other
 20 noncombustible, like metal.
 21 The RAP guidelines are meant to represent
 22 what materials were most commonly used, not the
 23 only options possible.
 24 I heard your bit about precedence, so I'll
 25 skip over that. I won't waste anybody's time.

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1 So if you go to the next chunk with
 2 highlighting, those are current pictures of the
 3 interior of the house. That is the offset
 4 porch on the front which was more than likely a
 5 later addition, which moves us to think that it
 6 is not likely a true bungalow-style home.
 7 That porch, it was an addition on that
 8 front style porch. You can see there that the
 9 bead board was covered by plaster later on when
 10 that exposed porch was closed in.
 11 So this was the damage after Hurricane
 12 Irma. The previous owner had covered the roof
 13 with tarps as well as shower curtains in an
 14 attempt to hold off repairs before selling the
 15 home.
 16 What we're proposing as a metal roof has
 17 two-and-a-half times or more the cost of a
 18 shingle roof, but can last up to 70 years and
 19 will protect the house long after they have
 20 moved on.
 21 And if the Commission's purpose is to
 22 preserve these century-old homes, we believe
 23 that a metal roof is by the far best option to
 24 actually preserve this. We did just have
 25 another potentially catastrophic hurricane that

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1 luckily did not hit us.
 2 But considering that we're asking to
 3 replace the roof that is currently damaged from
 4 the previous hurricane, this new metal roof has
 5 superior wind ratings and a far superior
 6 waterproof layer and is able to withstand
 7 impact from falling branches. Both of the
 8 properties on the property, the garage
 9 apartment as well as the front house, are
 10 surrounded and overhung by the two large oaks.
 11 Towards the end there you have a rendering
 12 of the front view and side view of what the
 13 home would look like. It is dual-sided in the
 14 fact that it's on Morningside and Richmond on
 15 the far side. The far side would be faced by
 16 three homes, one of them currently having a
 17 metal roof.
 18 And at the very end of that bit for you
 19 guys, it has the prime roofing material there
 20 guaranteed and everything in there.
 21 And then, as a last little piece, in the
 22 portion provided by the staff, under the
 23 alterations -- if you could go up to Page 3.
 24 There's a section in the guidelines that
 25 it says, "However, in the event replacement is

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1 necessary, the new material shall match the
 2 material being replaced in composition, design,
 3 color, texture, and other visual qualities.
 4 However, technologically advanced materials
 5 shall be considered and used as replacement
 6 alternatives.
 7 "It shall be based on accurate depictions
 8 of features substantiated by historical,
 9 physical, pictorial evidence rather than on
 10 conjectural design."
 11 I will leave it at that to see --
 12 THE CHAIRMAN: Any questions for our
 13 applicant?
 14 COMMISSIONER LOPERA: Yes.
 15 You mentioned the difference between metal
 16 and shingle. Shingle has come a long way based
 17 on more manufacturers within the shingle
 18 industry.
 19 And you mentioned about wind and
 20 waterproofing. As far as wind goes, there --
 21 you know, you install the shingles or metal
 22 roofing based on the wind design requirements
 23 for that area. So not much changes there.
 24 And as far as waterproofing goes, the
 25 building code has certainly upgraded in
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1 waterproofing. And a lot of waterproofing, the
 2 leaks have to do with installation, not with
 3 the shingles or the materials themselves. It
 4 is the most litigated -- roofs and windows are
 5 the most litigated items of construction
 6 defects, and the waterproofing on roofs
 7 specifically has to do with the installation in
 8 many, many, many cases.
 9 And as far as warranties go, I believe
 10 that some architectural shingles carry up to
 11 40-year warranties or more because they are
 12 much thicker than standard lower-quality
 13 shingles. So I generally agree with that
 14 aspect of it as far as wanting to do the metal
 15 roof instead of the shingles.
 16 And like staff had mentioned in the report
 17 that, you know, going from one material to a
 18 different material is challenging for the
 19 Commission because that's not something that we
 20 typically allow because that's what we know
 21 was -- probably been there before. And unless
 22 you can provide some sort of substantial
 23 evidence in the form of a photo, most people
 24 would have to go back with what was there
 25 before.
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1 THE CHAIRMAN: We will call you back up
 2 shortly.
 3 Is the anyone else here to speak on this
 4 COA?
 5 AUDIENCE MEMBERS: (No response.)
 6 THE CHAIRMAN: We'll close the public
 7 hearing, and I'll entertain a motion.
 8 COMMISSIONER LOPERA: I'll make a motion
 9 to deny COA-22-28217.
 10 COMMISSIONER EPSTEIN: Second.
 11 Through the Chair, I tend to agree with
 12 what Commissioner Lopera said. I know you have
 13 provided a photo here with a metal roof on the
 14 site. This is not a typical -- this corrugated
 15 metal would not be typically what would be used
 16 on a house. It wouldn't last or suffice.
 17 Looking at this, I can tell you that
 18 there's no way that this metal roof is any
 19 amount of years old as the age of the house.
 20 It would be rusted, and there would be --
 21 especially being up against this brackish water
 22 here, you would have a lot of issues with it.
 23 So I can't say that that is a factor that
 24 would allow us to say you could do a metal roof
 25 because of those reasonings. I would need to
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1 see a historic photo that showed a metal roof
 2 on the structure if we were going to approve
 3 that.
 4 THE CHAIRMAN: Yeah. I -- it was a great
 5 presentation, by the way, but I, unfortunately,
 6 am in agreement here.
 7 I do think the shingles -- you know, I
 8 believe that they were probably there
 9 originally. And, B, I find them to be pretty
 10 character-defining of the house as well. So it
 11 kind of ties our hands to a certain extent.
 12 COMMISSIONER EPSTEIN: Through the Chair,
 13 looking at -- you know, if you had this large
 14 tree, if that fell on the roof, the metal is
 15 not going to stop that from damaging the roof.
 16 It might stop it from damaging more of the
 17 house, but an asphalt shingle -- really, the
 18 sub -- the sub-roof material is what is going
 19 to absorb that and the structure of the house.
 20 And then you're going to have dented metal
 21 if something does fall on it, which ends up
 22 being an issue as well.
 23 THE CHAIRMAN: All right. All those in
 24 favor?
 25 COMMISSION MEMBERS: Aye.
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1 THE CHAIRMAN: Those opposed?
 2 COMMISSION MEMBERS: (No response.)
 3 THE CHAIRMAN: Hearing none, you have
 4 denied COA-22-28217.
 5 With that, we'll move on to COA-22-28221,
 6 1568 Dancy Street.
 7 MS. CHAMBERS: COA-22-28221, 1568 Dancy
 8 Street. This COA application is for partial
 9 window replacement on a noncontributing
 10 structure built outside the period of
 11 significance. The structure is on a corner lot
 12 with high visibility surrounded by mixture of
 13 one- and two-story structures.
 14 This request is for partial window
 15 replacement from original metal casement
 16 windows to vinyl hung windows; as requested,
 17 have no grids. The rear corner, black-trimmed
 18 windows that are not street visible on a
 19 previously enclosed porch are not requested for
 20 replacement.
 21 The only set of three metal casement
 22 windows that are next to the front, shown in
 23 these photos on the big screen, are requested
 24 to include a full metal -- middle pane of glass
 25 that mimics the unique decorative front window

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1 on the structure.
 2 Staff is recommending approval with
 3 conditions: That each casement window grouping
 4 have matching grid patterns on the new hung
 5 vinyl windows that are requested to keep the
 6 1950s character of the structure; and that the
 7 side window next to the decorative front window
 8 not be changed to have a middle pane of glass
 9 to mimic the front decorative window as it
 10 would kind of draw away from the decorative
 11 front window's unique design.
 12 THE CHAIRMAN: All right. Questions for
 13 staff?
 14 COMMISSION MEMBERS: (No response.)
 15 THE CHAIRMAN: All right. We'll open the
 16 public hearing.
 17 Is the applicant here?
 18 (Audience member approaches the podium.)
 19 THE CHAIRMAN: Thank you for being
 20 patient.
 21 AUDIENCE MEMBER: Jim Fewy, 7644
 22 Las Palmas Way, Jacksonville, Florida 32256.
 23 THE CHAIRMAN: She's going to swear you
 24 in.
 25 THE REPORTER: If you would raise your

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1 right hand for me, please.
 2 MR. FEWY: (Complies.)
 3 THE REPORTER: Do you affirm that the
 4 testimony you are about to give will be the
 5 truth, the whole truth, and nothing but the
 6 truth?
 7 MR. FEWY: Yes.
 8 THE REPORTER: Thank you.
 9 THE CHAIRMAN: Go ahead.
 10 MR. FEWY: We're fine with it. As long as
 11 what you have approved on here, we're fine
 12 with -- we can do that.
 13 THE CHAIRMAN: All the conditions?
 14 MR. FEWY: All the conditions, yeah. That
 15 was an easy one for you.
 16 COMMISSIONER LOPERA: We have to at least
 17 discuss this for, like, 10 or 20 minutes. Tell
 18 us something that you don't want.
 19 MR. FEWY: That's it.
 20 THE CHAIRMAN: All right.
 21 Is anybody else here to speak on this COA?
 22 AUDIENCE MEMBERS: (No response.)
 23 THE CHAIRMAN: Hearing none, we'll close
 24 the public hearing, and I'll entertain a
 25 motion.

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1 COMMISSIONER LOPERA: Motion to approve
 2 COA-22-28221 with all staff conditions.
 3 COMMISSIONER EPSTEIN: Second.
 4 THE CHAIRMAN: All those in favor?
 5 COMMISSION MEMBERS: Aye.
 6 THE CHAIRMAN: Those opposed?
 7 COMMISSION MEMBERS: (No response.)
 8 THE CHAIRMAN: Hearing none, you have
 9 approved COA-22-28221.
 10 And with that, we will move along to a
 11 park renaming.
 12 MR. WELLS: So this is in regards to
 13 Ordinance 2022-0724 for the proposed renaming
 14 of Mandarin Park from -- to Thomas L. (Tommy)
 15 Hazouri, Sr. Park. It's in accordance with
 16 Section 122.105 of the Jacksonville Ordinance
 17 Coded.
 18 The naming and renaming of public
 19 buildings, facilities and parks requires a
 20 report from our section as well as a
 21 recommendation from the Commission. And you
 22 should evaluate it based on the seven criteria
 23 noted in the report.
 24 So, once again, this is a request by City
 25 Council to honor the legacy of Thomas L.

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Application For Certificate Of Appropriateness

Application Info

Tracking #	28217	Application Status	PROCESSED
Date Started	09/15/2022	Date Submitted	09/15/2022

Planning and Development Department Info

COA #	COA-22-28217
Admin Review	<input checked="" type="checkbox"/>
Admin Recommendation	FORWARD
Admin Date Of Action	9/28/2022
Forwarded to JHPC	<input checked="" type="checkbox"/>
JHPC Meeting Date	10/26/2022
Staff Recommendation	DENY
JHPC Recommendation	DENY
JHPC Date Of Action	11/15/2022
Admin Details	N/A
JHPC Details	DENIED

General Information On Applicant

Last Name	First Name	Middle Name
BAKER	KIMBERLY	S
Company Name		
Mailing Address		
6127 ANCHOR LN, KIMBERLY BAKER		
City	State	Zip Code
ROCKLEDGE	FL	32955
Phone	Fax	Email
321 749 8614		KIMSIMBAK@GMAIL.COM

General Information On Agent(s)

Agent represents Owner Contractor Architect Consultant Other

Last Name	First Name	Middle Name
BAKER	KIMBERLY	S
Company/Trust Name		
Mailing Address		
6127 ANCHOR LN, KIMBERLY BAKER		
City	State	Zip Code
ROCKLEDGE	FL	32955
Phone	Fax	Email
3217498614		KIMSIMBAK@GMAIL.COM

Description Of Property

Property Designation Riverside/Avondale Historic District

Property Appraiser's RE #(s) (10 digit number with a space ##### #####)

Map	RE#
	092736 0000

Companion Zoning Application Tracking # (if known)

Location Of Property

General Location

House # Street Name, Type and Direction Zip Code
1968 MORNINGSIDE ST 32205

Between Streets

and
MORNINGSIDE and RICHMOND

Type Of Improvement

- Addition Driveway Demolition Window Replacement
 Alteration Relocation New Construction Reroof/Minor Repairs
 Fencing

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.
(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

Proposed Work

REROOF; REPLACING CURRENT GREY 3 TAB ASPHALT SHINGLE ROOF WITH A 50 YEAR STANDING SEAM SILVER METAL ROOF. THE HOUSE IS A CEDAR SHINGLE WOOD FRAME HOME AND I CAN PROVIDE SEVERAL SIMILAR HOMES IN THE HISTORIC DISTRICT WITH STANDING SEAM METAL ROOFS. OUR DIRECT NEIGHBOR AT 3900 RICHMOND ALSO HAS A METAL ROOF. WE JUST PURCHASED THE HOUSE, THE ROOF HAS FAILED AND WE HAVE ACTIVE LEAKS THAT NEED TO BE REPAIRED ASAP. THANK YOU FOR YOUR CONSIDERATION.

Addition Information

Is this a violation? Check the box if it is.

If you have been working with a planner choose one from the list

Reroof/Minor Repairs

For reroofs and minor repairs there are no required documents. However, once a planner is assigned and reviews the request, they may need additional documents or pictures to process your request.

Additional Documents Provided

Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.



Planning and Development Department

Ed Ball Building
214 North Hogan Street, Suite 300
Jacksonville, FL 32202

NOTICE OF CERTIFICATION

RE: Certified Final Order for COA-22-28217

DATE: December 5, 2022

Please find attached:

- Certified final order for COA-22-28217, from the October 26, 2022 Historic Preservation Commission meeting

If there are any questions, please contact me at (904) 255-7800.

Stephanie Pejsa, Executive Assistant
Community Planning Division
Planning and Development Department

BEFORE THE HISTORIC PRESERVATION COMMISSION
OF THE CITY OF JACKSONVILLE

CERTIFICATE OF APPROPRIATENESS APPLICATION NO.: **COA-22-28217**

IN RE: After the fact Certificate of Appropriateness Application of

Address: 1968 Morningside Street, RE# 092736-0000

**Owner: Kimberly Baker
6127 Anchor Lane
Rockledge, FL 32955**

Applicant: Kimberly Baker

ORDER ON COA-22-28217: DENIED

Having duly considered both the testimonial and documentary evidence presented at the meeting and public hearing **October 26, 2022**, including the COA Application and the Planning and Development Department's Staff Report and Recommendation and all attachments thereto ("Staff Report"), a portion of which is attached hereto as **EXHIBIT A**, and **on file** it its entirety in the Planning and Development Department, the Jacksonville Historic Preservation Commission hereby

FINDS AND DETERMINES:

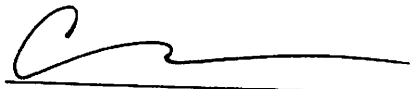
1. That the applicant did comply with the procedural and application requirements set forth in Section 307.106 of the Jacksonville Ordinance Code; and
2. That as stated in the record, substantial competent evidence demonstrates that application **COA-22-28217** does not meet the standards and criteria set forth in Section 307.106 of the Jacksonville Ordinance Code; and
3. The Commission hereby adopts the findings in the Staff Report for application **COA-22-28217**, to the extent consistent with this Order; and
4. That the land which is the subject of application **COA-22-28217** is owned by **Kimberly Baker**.

NOW THEREFORE, it is **ORDERED** by the Historic Preservation Commission:

Application **COA-22-28217** is hereby **DENIED**.

Executed this 15th day of November, 2022.

FORM APPROVED:



Carla Lopera
Office of General Counsel



Jack C. Demetree, III
Chairman
Historic Preservation Commission

Copy to:

Owner & Applicant: Kimberly Baker
6127 Anchor Lane
Rockledge, FL 32955

NOTICE OF RIGHT TO APPEAL. Persons listed in Section 307.202, Ord. Code, may appeal this decision to the City Council within twenty-one (21) days of the date of this Order by filing a Notice of Appeal with the Legislative Services Division of the Council as required by section 307.203, Ord. Code. Failure to file a Notice with the Legislative Services Division within the time prescribed waives the right to appeal this Order.

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October 26, 2022

**Report of the Jacksonville Planning and Development Department
Certificate of Appropriateness Application COA-22-28217**

Address: 1968 Morningside Street, RE# 092736-0000

Location: Southwest corner of Morningside Street and Richmond Street, between
Richmond Street and Arden Street

Owner: Kimberly Baker
6127 Anchor Lane, Rockledge FL, 32955

Applicant: Same as owner

Year Built: c. 1922 (Property Appraiser)

Designation: Riverside Avondale; Contributing

Request: Reroof

Summary Scope of Work:

1. Reroof; replace the existing grey 3-tab shingles with standing seam silver metal roofing.

Recommendation: Deny



PROJECT DESCRIPTION

This application for Certificate of Appropriateness is to reroof a contributing structure within the Riverside Avondale Historic District. The structure is a two-story bungalow-styled single-family residence. The home was constructed around 1922 and is characterized by its shake siding, one-over-one windows, exposed rafters, grey shingled roof, and small front porch. The proposed scope of work is to replace the existing roofing material with standing seam silver metal roofing. The majority of the homes on this portion of the block have roofs with either composition or asphalt shingles as roofing material.

STAFF SUMMARY AND ANALYSIS

Staff considered the applicable Design Guidelines for the Springfield Historic District and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(l). The following is Staff's analysis:

- Based on the Sanborn Map for the property (Volume 3, 1924-1951, sheet 342), the primary structure had a composition roof at the time of the survey. Additionally, the secondary structure in the rear of the property also had a composition main roof. At some point in time, an addition with a metal roof was adding on to the secondary structure.
- 307.106(l)(6) states that deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. The proposed material would not be following these guidelines since the intent is to remove the existing composite shingle roof and replace it with a new alternative material which would change the visual qualities of the current roof. Therefore, this scope of work is inconsistent with Standard 6 and 307.106(l)(6).
- Based on the Design Guidelines, it is recommended to "replace deteriorated roof surfacing with new material, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture". The proposed metal roofing material is inconsistent with these Design Guidelines.
- The new metal roofing material would be incompatible with the structure since it has been found to historically have a composite shingle roof. Additionally, homes in this block do not utilize metal roofing materials. Therefore the proposed request is inconsistent with Section 307.106(k)(1 and 2) which emphasize the importance of the proposed work on the property and the relationship between the proposed work with the district.

For these reasons, it is the position of the Planning and Development Department that the proposed work is inconsistent with:

1. Section 307.106(k) General Standards: 1 and 2
2. Section 307.106(l) Guidelines on "Alterations": 6
3. Historic District Design Guidelines, Section on "Roof and Roof Surfaces"

CODE CRITERIA AND DESIGN GUIDELINES

General Criteria

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site, or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;

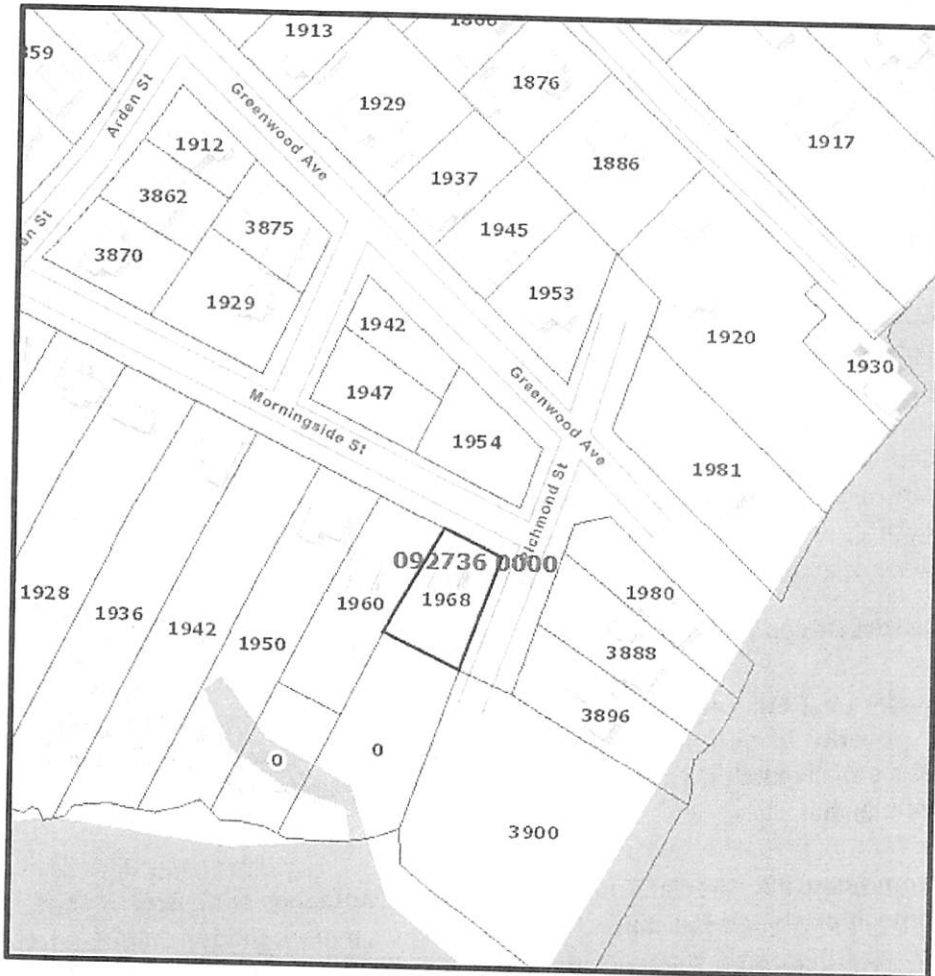
Alterations

- 307.106(l)(6) - Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. However, technologically advanced materials shall be considered and used as replacement alternatives. Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

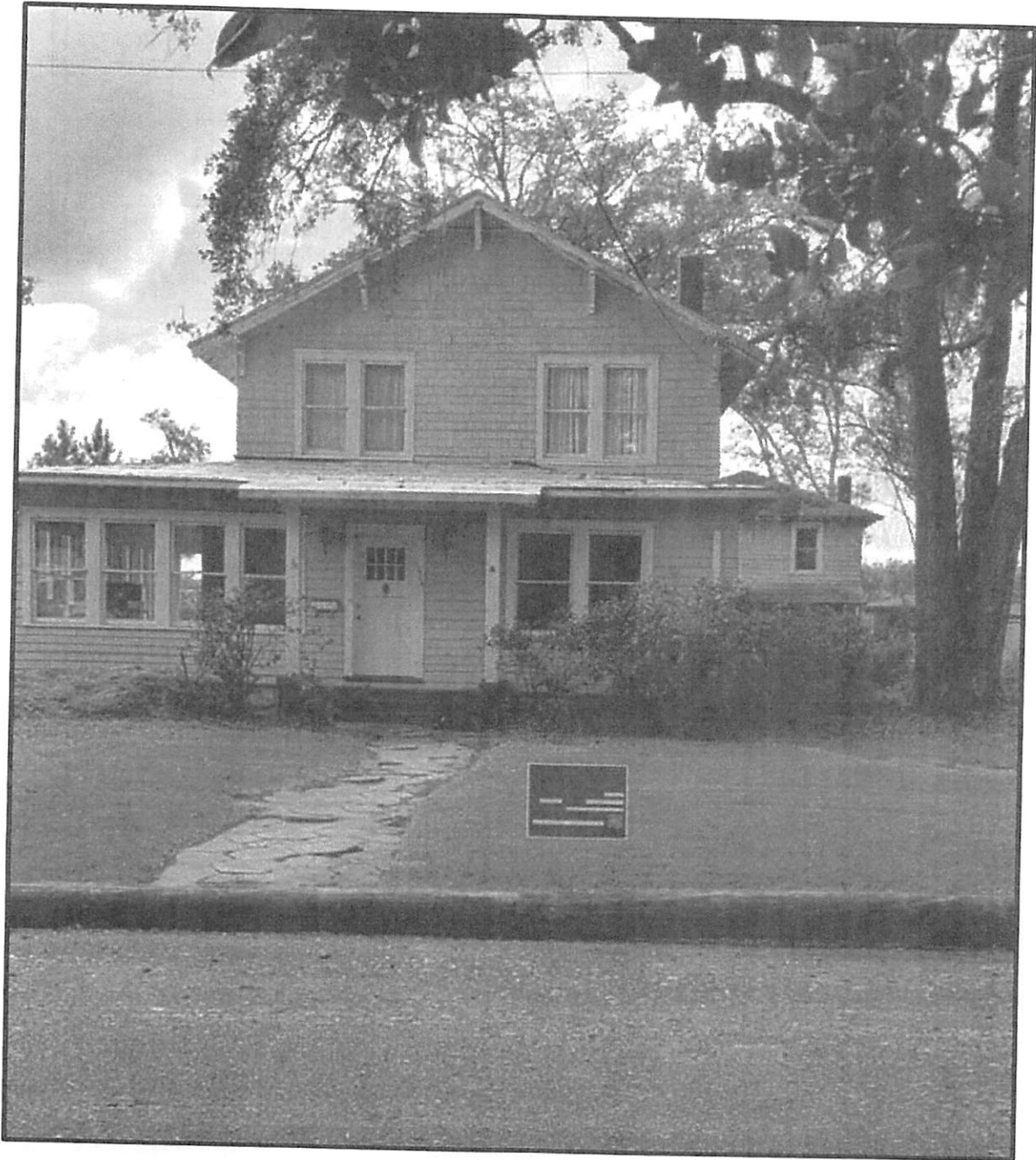
Historic District Design Guidelines, "Roofs and Roof Surfaces"

- Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials.
- Recommend #3: "Replace deteriorated roof surfacing with new material, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture."

LOCATION MAP



PICTURE OF PROPERTY WITH POSTED SIGN



COA-22-28217

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On File
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