

AD-19-53

LOCATION: 5707 University Boulevard West (SR 109)

REAL ESTATE NUMBER: 152621-0020

DEVIATION SOUGHT:

1. Reduce the required landscape buffer between vehicle use area along Barnes Road from 10 feet per linear feet of frontage/5 feet minimum width to 0 feet per linear feet of frontage and 0 feet minimum width.
2. Reduce the required number of shrubs along Barnes Road to 0 shrubs.
3. Reduce the required number of trees along Barnes Road from to 0 trees.
4. Reduce the required perimeter landscape buffer area between vehicle use area and abutting property along the north property boundary from 5 feet minimum width required to 0 feet. Reduce the number of trees along Barnes Road Right-of-way from 3 required to 1 tree.
5. Reduce the required perimeter landscape buffer area between vehicle use area and abutting property along the west property boundary from 5 feet minimum width required to 0 feet.
6. Reduce the required number of trees along the north property boundary from 4 trees to 0 trees.
7. Reduce the required number of trees along the east property boundary from 4 trees to 0 trees.
8. Reduce the required number of trees along the west property boundary from 3 trees to 1 trees.
9. Reduce the sight triangle setback from 25 feet required to 12feet/13feet.

PRESENT ZONING: CCG-1

CURRENT LAND USE: CGC

PLANNING DISTRICT: 3

COUNCIL DISTRICT: 5

SIGNS POSTED: 1

OWNER:

Zeavy, LLC.
4653 Camellia Ave.
North Hollywood, CA 91602

OWNER:

Jennifer Vargas
482 S. Keller Road
Orlando, FL 32810

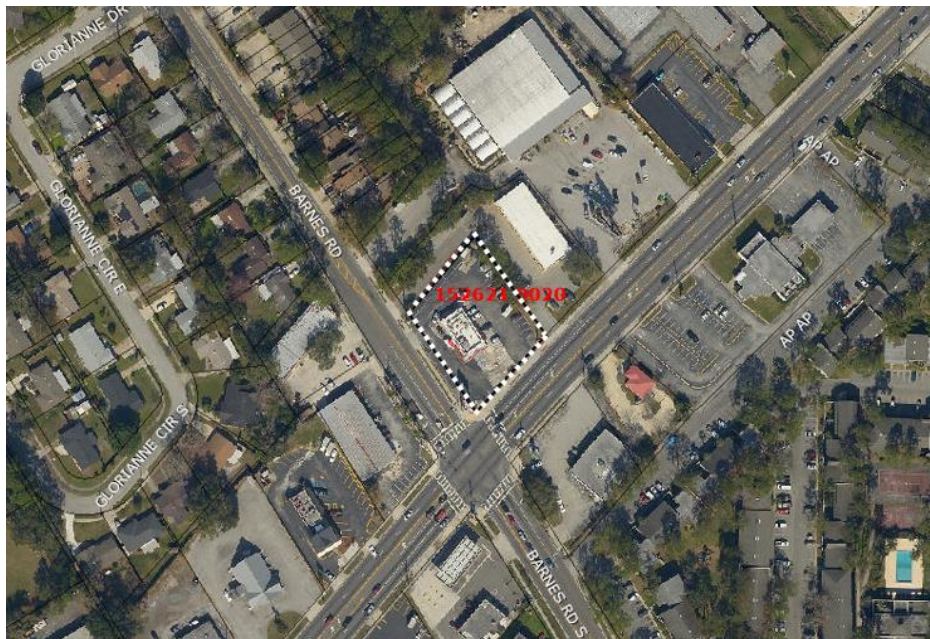
STANDARDS, CRITERIA AND FINDINGS

<p>1. Is this situation unique or similar to other properties in the neighborhood?</p>	<p><u>Recommendation:</u> Similar. The 0.56± acre subject property is located along University Boulevard West and contains a 2,293 square foot fast-food restaurant (Krystal Burgers) constructed in 1970. The property owners intend to demolish the existing building and rebuild. Due to the redevelopment of the property the site must now come into full compliance or seek deviations and/or waivers. The applicant requests relief from the landscape requirements of Part 12 listed above. Existing site configuration does not otherwise permit adherence to the parking and</p>
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	<p>landscape requirements of the Zoning Code. The proposed site plan is being prepared under a common scheme of development and with similar uses on both sides of the parcel division line. The request, if approved, will significantly facilitate internal and cross parcel access.</p> <p>The applicant is applying additionally for a companion Sign Waiver Ordinance 2019-0685 (SW-19-08) seeking to permit a reduction in the required minimum setback from the property line abutting Barnes Road and University Boulevard for an existing pylon sign from 10 feet to 2 feet. The applicant does not intend to change the face of the existing pylon sign.</p>
<p>2. There are practical and economic difficulties in carrying out the strict letter of the regulation in that...</p>	<p><u>Recommendation:</u> Yes. There are practical and economic difficulties in carrying out the strict letter of the regulation in that due to existing nature of the site and the required number of parking spaces hinders the owner's ability to comply with zoning regulations. Strict application of the Code will severely limit the flexibility of site configuration and vehicle use. The proposed redevelopment of the site outweighs the requirement to provide perimeter landscaping.</p>
<p>3. The request is not based exclusively upon a desire to reduce the cost of developing the site, but would accomplish a result that is in the public interest.</p>	<p><u>Recommendation:</u> No. The request is not based upon a desire to reduce the cost of development of the site but rather the proposed redevelopment of the site allows the applicant to make better use of site. The existing site configuration severely hinders the site from meeting both the landscape requirements and the parking requirements. Requiring the site to provide perimeter landscaping will cut into the off-street parking spaces provided on site.</p>
<p>4. The proposed deviation will not substantially diminish property values in, nor alter the essential character of the area surrounding the site and will not substantially interfere with or injure the rights of others whose property would be affected by the deviation, in that...</p>	<p><u>Recommendation:</u> Yes. The proposed deviation will not diminish property values in, nor alter the essential character of the area surrounding the site and will not substantially interfere with or injure the rights of others whose property would be affected by the deviation. Several properties along University Boulevard are used in similar manner and therefore would not create or interfere with the rights of surrounding properties.</p>

<p>5. The proposed deviation will not be detrimental to the public health, safety, or welfare, result in additional public expense, the creation of nuisances, or conflict with any other applicable law, in that...</p>	<p>Recommendation: Yes. The requested deviations will not be detrimental to the public health, safety or welfare, nor will it result in a public expense. There will be an increase in landscaped area on-site than was there previously. The site improvements being made during the redevelopment of the property will enhance the property aesthetically.</p>
<p>6. The effect of the proposed deviation is in harmony with the spirit and intent of the Zoning Code.</p>	<p>Recommendation: Yes. The intent of the Zoning Code is promote the health and safety of the public, while allowing for deviations that are within the public’s best interest. The proposed deviation does not negatively affect the public’s health or safety, and allows property owner to make restorations to the sight.</p>
<p>7. The City landscape architect (has/has not) recommended the proposed deviation.</p>	<p>The City Landscape Architect has reviewed and recommended Approval. Please see the attached memo dated October 25, 2019.</p>
<p>8. The existing violation was not created by the applicant with an intent to violate the Zoning Code.</p>	<p>There are currently no existing Zoning Code violations associated with the subject property.</p>

PLANNER RECOMMENDATION: Approve
DATE OF REPORT: November 7, 2019
DATE:



Aerial View
 Source: JaxGIS



The Required Notice of Public Hearing Signs Were Posted

Source: Planning and Development Department, COJ (Date: October 8, 2019)



Property View

Source: Planning and Development Department, COJ (Date: October 8, 2019)



View of East Property Line

Source: Planning and Development Department, COJ (Date: October 8, 2019)



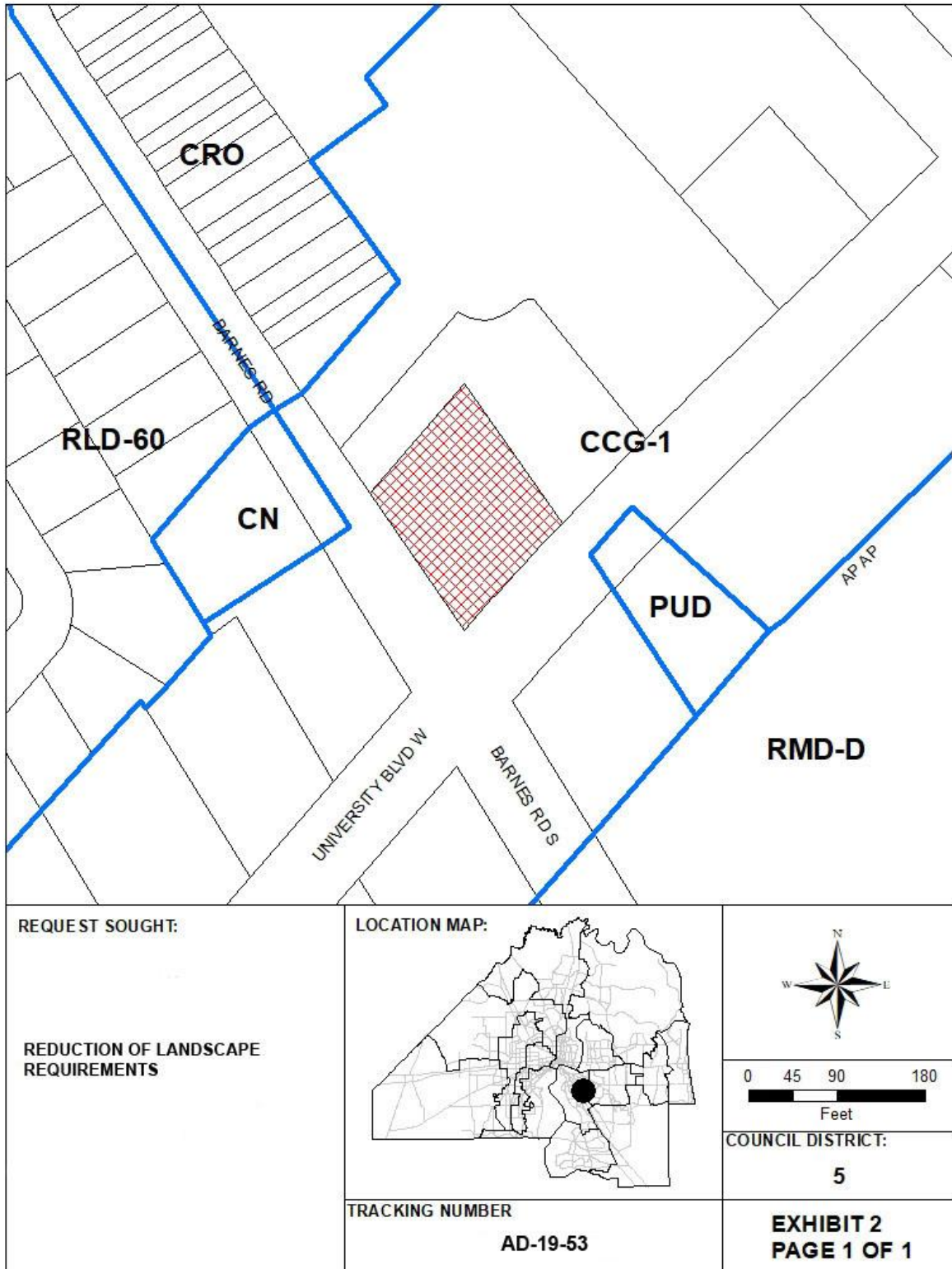
View of North Property Line

Source: Planning and Development Department, COJ (Date: October 8, 2019)



Property to East

Source: Planning and Development Department, COJ (Date: October 8, 2019)



Legal Map
 Source: JaxGIS



Planning and Development Department

Ed Ball Building
214 North Hogan Street, Suite 300
Jacksonville, FL 32202

25 October 2019

MEMORANDUM

TO: Sean Kelly, Zoning Administrator
FROM: Bruce Lewis, City Planner Supervisor
SUBJECT: AD-19-53 / 5707 University Blvd / Real Estate Number: 152621-0020

Scope:

Applicant seeks the following relief:

- Sec. 656.1215 (a)(1): Reduce the required landscape buffer between vehicle use area along Barnes Road from 10 feet per linear feet of frontage / 5 feet minimum width to 0 feet per linear feet of frontage and 0 feet minimum width.
- Sec. 656.1215 (a)(2): Reduce the required number of shrubs along Barnes Road to 0 shrubs.
- Sec. 656.1215 (a)(3): Reduce the required number of trees along Barnes Road from to 0 trees.
- Sec. 656.1215 (b)(1): Reduce the required perimeter landscape buffer area between vehicle use area and abutting property along the north property boundary from 5 feet minimum width required to 0 feet.
- Sec. 656.1215 (b)(1): Reduce the required perimeter landscape buffer area between vehicle use area and abutting property along the west property boundary from 5 feet minimum width required to 0 feet.
- Sec. 656.1215 (b)(2): Reduce the required number of trees along the north property boundary from 4 trees to 0 trees.
- Sec. 656.1215 (b)(2): Reduce the required number of trees along the east property boundary from 4 trees to 0 trees.
- Sec. 656.1215 (b)(2): Reduce the required number of trees along the west property boundary from 3 trees to 1 trees.

Observations:

The subject property was constructed as a fast food restaurant in 1970. The applicant seeks to renovate the property and requests relief from the landscape requirements of Part 12 listed above. Existing site configuration does not otherwise permit adherence to the parking and landscape requirements of the Zoning Code.

Strict application of the Code will severely limit the flexibility of site configuration and vehicle use. The proposed redevelopment and improvements to the site's overall parking, vehicular circulation and accessibility, outweigh the requirement to provide perimeter landscaping.

The proposed site plan is being prepared under a common scheme of development and with similar uses on both sides of the parcel division line. The request, if approved, will significantly facilitate internal and cross parcel access.

Recommendation:

As a City Planning Supervisor of the City of Jacksonville, I understand the request contained in Application **AD-19-53** and forward my opinion to the Zoning Administrator via this memo.

For the reasons cited above and others, I recommend that the request be **APPROVED**.

Signature: 

Application For Administrative Deviation

Planning and Development Department Info

Application # AD-19-53 **Staff Sign-Off/Date** ELA / 07/24/2019

Filing Date 07/24/2019 **Number of Signs to Post** 1

Current Land Use Category CGC

Deviation Sought REDUCE THE LANDSCAPE BUFFER BETWEEN VEHICLE USE AREA ALONG NORTH, SOUTH, EAST, AND WEST OF THE PROPERTY LINE FROM 10 FEET PER LINEAR FEET OF FRONTAGE AND 5 FEET MINIMUM WIDTH REQUIRED TO 0 FEET PER LINEAR FEET OF FRONTAGE AND 0 FEET MINIMUM WIDTH. REDUCE THE NUMBER OF TREES ALONG NORTHEAST PROPERTY LINE FROM 4 REQUIRED TO 0 TREES. REDUCE THE NUMBER OF TREES ALONG NORTHWEST PROPERTY LINE FROM 4 REQUIRED TO 0 TREES. REDUCE THE NUMBER OF TREES ALONG BARNES RD ROW FROM 3 REQUIRED TO 1 TREE. REDUCE SIGHT TRIANGLE SETBACK FROM 25 FEET TO 12Feet/13 FEET.

Applicable Section of Ordinance Code N/A

Notice of Violation(s) N/A

Hearing Date N/A

Neighborhood Association GREATER ENGLEWOOD NEIGHBORHOOD ASSOCIATION

Overlay N/A

Application Info

Tracking # 2202

Application Status FILED COMPLETE

Date Started 01/18/2019

Date Submitted 02/05/2019

General Information On Applicant

Last Name	First Name	Middle Name
VARGAS	JENNIFER	LYNN
Company Name		
ATKINS		
Mailing Address		
482 S KELLER ROAD		
City	State	Zip Code
ORLANDO	FL	32810
Phone	Fax	Email
4078064282	4078064500	JENNIFER.VARGAS@ATKINSGLOBAL.COM

General Information On Owner(s)

Last Name	First Name	Middle Name
ZEAVY	REUVEN	
Company/Trust Name		
ZEAVY LLC.		
Mailing Address		
4653 CAMELLIA AVE		
City	State	Zip Code
NORTH HOLLYWOOD	CA	91602
Phone	Fax	Email
8185214007		RZEAVY@YAHOO.COM

Property Information

Previous Zoning Application Filed?

If Yes, State Application No(s)

Map	RE#	Council District	Planning District	Current Zoning District(s)
Map	152621 0020	5	3	CCG-1

Ensure that RE# is a 10 digit number with a space (##### #####)

Total Land Area (Nearest 1/100th of an Acre)

In Whose Name Will The Deviation Be Granted

Is transferability requested? Yes No

If approved, the administrative deviation is transferred with the property.

Location Of Property

General Location

House #	Street Name, Type and Direction	Zip Code
<input type="text" value="5707"/>	<input type="text" value="UNIVERSITY BLVD W"/>	<input type="text" value="32216"/>

Between Streets

and

Utility Services Provider

City Water/City Sewer Well/Septic City Water/Septic City Sewer/Well

Deviation sought

Click on a check box to provide details pertaining to the deviation sought.

- Reduce required minimum lot area from to square feet.
- Increase maximum lot coverage from % to %.
- Increase maximum height of structure from to feet.

Reduce required yard(s)

- Reduce minimum number of off-street parking spaces from to .
- Increase the maximum number of off-street parking spaces from to .
- Reduce setback for any improvements other than landscaping, visual screening or retention in the CCG-1 zoning district from a residential zoning district from a minimum of **15** feet to feet.
- Reduce setback for any improvements other than landscaping, visual screening or retention in the CCG-2 zoning district from a residential zoning district from a minimum of **25** feet to feet.
- Decrease minimum number of loading spaces from required to loading spaces.

Reduce the dumpster setback from the required **5** feet along:

- North to feet;
- East to feet;
- South to feet;
- West to feet.
- Decrease the minimum number of bicycle parking spaces from required to spaces.
- Reduce the minimum width of drive from feet required to feet.

- Reduce vehicle use area interior landscape from square feet to square feet.
- Increase the distance from the vehicle use area to the nearest tree from **55** feet maximum to feet.
- Reduce the number of terminal island trees from terminal islands required to terminal islands.
- Reduce the landscape buffer between vehicle use area along NORTH, EAST, SOUTH, AND WEST OF THE PROPERTY LINE from **10** feet per linear feet of frontage and **5** feet minimum width required to feet per linear feet of frontage and feet minimum width.
- Reduce the number of shrubs along Enter Street Name from required to shrubs.
- Reduce the number of trees along Enter Street Name from required to trees.

Reduce the perimeter landscape buffer area between vehicle use area and abutting property from **5** feet minimum width required along:

- North boundary to feet;
- East boundary to feet;
- South boundary to feet;
- West boundary to feet.

Reduce the number of trees along:

- North property boundary from 4 required to 0 trees;
- East property boundary from 4 required to 0 trees;
- South property boundary from required to trees;
- West property boundary from 3 required to 1 trees.

- Increase the maximum width of the driveway access from Enter Street Name from 24 36 48 feet required to feet.
- Decrease the minimum width of the driveway access from Enter Street Name from 24 36 48 feet required to feet.

Increase the maximum width of the driveway access to adjoining property from **24** feet required along:

- North to feet;
- East to feet;
- South to feet;
- West to feet.

Decrease the minimum width of the driveway access to adjoining property from **24** feet required along:

- North to feet;
- East to feet;
- South to feet;
- West to feet.

Reduce the uncomplimentary land use buffer width from **10** feet wide required along:

- North property boundary to feet wide;

- East property boundary to feet wide;
- South property boundary to feet wide;
- West property boundary to feet wide.

Reduce the uncomplimentary land use buffer trees along:

- North property boundary from required to trees;
- East property boundary from required to trees;
- South property boundary from required to trees;
- West property boundary from required to trees.

Reduce the uncomplimentary land use buffer visual screen from **6** feet tall and **85** % opaque required along:

- North property boundary to feet tall and %;
- East property boundary to feet tall and %;
- South property boundary to feet tall and %;
- West property boundary to feet tall and %.

Required Attachments

The following items must be attached to the application.

- Survey
- Site Plan
- Property Ownership Affidavit (Exhibit A)
- Agent Authorization if application is made by any person other than the property owner (Exhibit B)
- Legal Description - may be written as either lot and block, or metes and bounds (Exhibit 1)
- Proof Of Property Ownership - may be print-out of property appraiser record card if individual owner, <https://paopropertysearch.coj.net/Basic/Search.aspx>, or print-out of entry from the Florida Department of State Division of Corporations if a corporate owner, <http://search.sunbiz.org/Inquiry/CorporationSearch/ByName>

Supplemental Information

- Letter From DCFS, Department of Children and Family Services - day care uses only
- Letter from the applicable Home Owner's Association, stating that the request meets their architectural and aesthetic requirements; or letter stating that the subject parcel is not within the jurisdiction of a Home Owner's Association - residential only
- Elevations, must be drawn to scale - height increase requests only

Criteria

Section 656.101(a), Ordinance Code, defines an administrative deviation as "a relaxation of the terms of the Zoning Code requirements for minimum lot area, yards, number of off-street parking spaces, landscaping, maximum lot coverage and maximum height of structures, including fences, which the Zoning Administrator is authorized to grant pursuant to the procedures set forth in Section 656.109(e) through (j)."

Section 656.109(e) through (j), Ordinance Code, provides that, with respect to action upon Applications for Administrative Deviations, the Zoning Administrator shall grant a deviation only if substantial competent evidence exists to support a positive finding based on each of the following criteria:

I. The need for the proposed deviation arises out of the physical surroundings, shape, topographic condition or other physical or environmental conditions that are limited to the subject property alone; or this issue is common to numerous sites.

THE PROPOSED DEVIATION ARISES FROM CONDITIONS THAT ARE LIMITED TO THE SUBJECT PROPERTY LINES ALONE. THIS ISSUE IS COMMON ON SITES WHICH HAVE BEEN CONSTRUCTED MANY YEARS AGO.

1. There are practical or economic difficulties in carrying out the strict letter of the regulation; THE ORIGINAL DEVELOPMENT WAS CONSTRUCTED UP TO THE PROPERTY LINES. WE ARE REPLACING THE BUILDING WITH A SIMILAR SIZE AND ARE UNABLE TO REDUCE THE PARKING LOT SIZE TO INCORPORATE THE REQUIRED LANDSCAPE BUFFER BETWEEN VUA, HOWEVER, WE ARE INCREASING THE OVERALL LANDSCAPE AREA ON THE SITE FROM 0.2% TO 9.2%.

2. The request is not based exclusively upon a desire to reduce the cost of developing the site, but would accomplish some result that is in the public interest, such as, for example, furthering the preservation of natural resources by saving a tree or trees.

THIS REQUEST IS NOT BASED EXCLUSIVELY UPON A DESIRE TO REDUCE THE COST OF DEVELOPING SITE. THE OVERALL PROPOSED PLAN OF THE SITE IS TO TEAR DOWN AND REBUILD AN EXISTING KRYSTAL BUILDING FROM THE 1970S. ADDITIONAL IMPROVEMENT INCLUDE INCREASING THE OVERALL PERVIOUS AREA ON THE SITE BY ADDING ADDITIONAL LANDSCAPE AREAS, CLOSING OF AN EXISTING DRIVEWAY, AND IMPROVING TRAFFIC CIRCULATION/ MOVEMENTS. IF WE WERE TO INCORPORATE THESE LANDSCAPE BUFFER FOR VUA, IT WOULD CUT OUR PARKING IN HALF AND THEREFORE NOT MAKING THIS REDEVELOPMENT A VIABLE PROJECT NOR WOULD MAKE THIS ACCEPTABLE PER CODE.

3. The proposed deviation will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site and will not substantially interfere with or injure the rights of others whose property would be affected by the deviation;

THIS DEVIATION WILL NOT DIMINISH PROPERTY VALUES IN, OR ALTER THE ESSENTIAL CHARACTER OF, THE AREA SURROUNDING THE SITE AND WILL NOT SUBSTANTIALLY INTERFERE WITH OR INJURE THE RIGHTS OF OTHERS WHO PROPERTY WOULD BE AFFECTED BY THE DEVIATION. WE BELIEVE THIS REDEVELOPMENT WILL IMPROVE SURROUNDING PROPERTY VALUES.

4. The proposed deviation will not be detrimental to the public health, safety or welfare, result in additional public expense, the creation of nuisances, or conflict with any other applicable law;

THE PURPOSED OF THIS REDEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY OR WELFARE, RESULT IN ADDITIONAL PUBLIC EXPENSE, THE CREATION OF NUISANCES, OR CONFLICT WITH ANY OTHER APPLICABLE LAW.

5. The proposed deviation has been recommended by a City landscape architect, if the deviation is to reduce required landscaping; and

THE PROPOSED DEVIATION HAS BEEN RECOMMENDED BY SEVA ABASOVA AND JEFF LUCOVSKY.

6. The effect of the proposed deviation is in harmony with the spirit and intent of the Zoning Code.

THE PROPOSED DEVIATION IS AN EXISTING CONDITION AND HAS NO KNOWN NEGATIVE EFFECT OF THE HARMONY WITH THE SPIRIT AND INTENT OF THE ZONING CODE. AS MENTIONED ABOVE, THOUGH WE CANNOT MEET THE REQUIRED LANDSCAPE BUFFER BETWEEN VUA, WE HAVE ADDED SEVERAL LANDSCAPE AREAS THROUGHOUT THE SITE.

If the deviation is proposed to correct an existing violation, the Zoning Administrator shall also consider the following:

(i) Whether the violation was created by the applicant with the intent to violate the provisions of this Zoning Code;

THE EXISTING PROPERTY WAS BUILT BEFORE THE ESTABLISHMENT OF THIS ZONING CODE IN THE 1970S, THEREFORE IT WAS NOT CREATED WITH THE INTENT TO VIOLATE THE PROVISIONS OF THE MODERN ZONING CODE.

(ii) The length of time the violation has existed without receiving a citation; and

THE EXISTING PROPERTY WAS BUILT IN THE 1970S UNDER DIFFERENT ZONING CODES.

(iii) Whether the violation occurred as a result of construction which occurred prior to the acquisition of the property by the owner.

THIS WAS NOT A RESULT OF CONSTRUCTION VIOLATION BUT THE INTENT OF THE ORIGINAL DEVELOPMENT IN THE 1970S.

Public Hearings

Please review your application. No application will be accepted until all of the requested information has been supplied and the required fee has been paid. The acceptance of an application as being complete does not guarantee its approval by the Planning Commission. The owner and/or authorized agent must be present at the public hearing.

The required public notice signs must be posted on the property within five (5) working days after the filing of this application. Sign(s) must remain posted and maintained until a final determination has been made on the application.

Application Certification

I HEREBY CERTIFY THAT I HAVE READ AND UNDERSTAND the information contained in this application, that I am the owner or authorized agent for the owner with authority to make this application, and that all of the information contained in this application, including the attachments, is true and correct to the best of my knowledge.

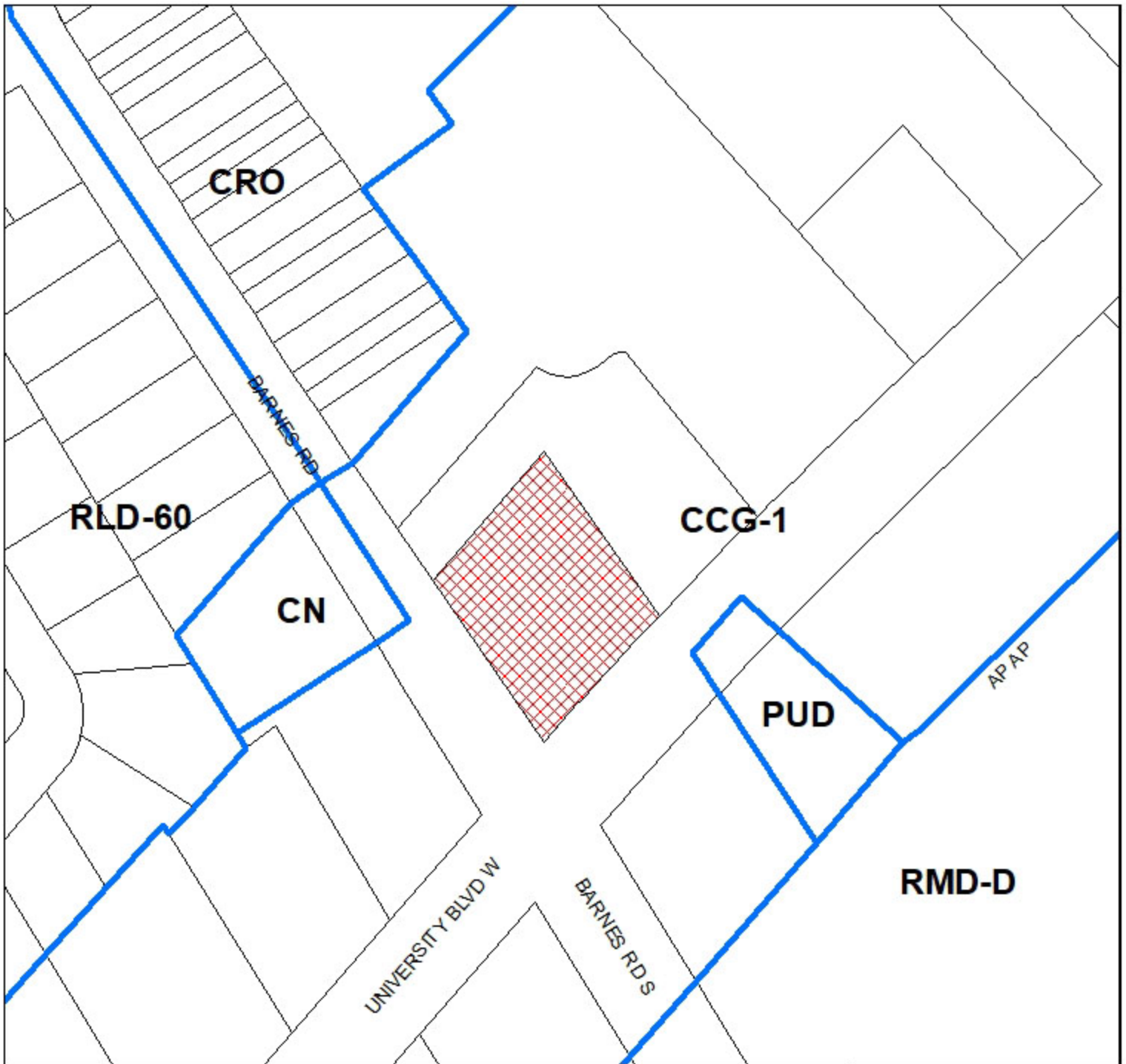
Agreed to and submitted

Filing Fee Information

1) Non-residential District Base Fee	\$952.00
2) Plus Notification Costs Per Addressee	
35 Notifications @ \$7.00/each:	\$245.00
3) Total Application Cost:	\$952.00

*** Applications filed to correct existing zoning violations are subject to a double fee.**

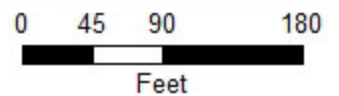
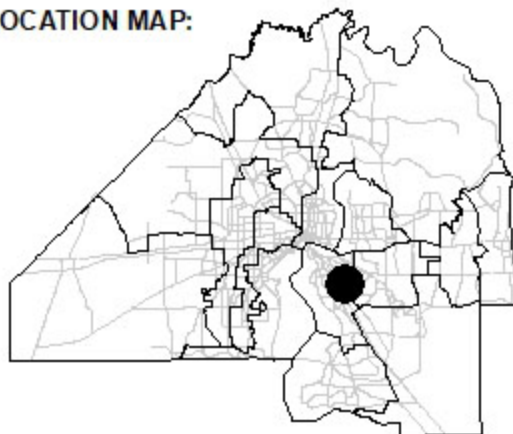
**** The fee for the advertisement is in addition to the above fees. The newspaper will send the invoice directly to the applicant.**



REQUEST SOUGHT:

**REDUCTION OF LANDSCAPE
REQUIREMENTS**

LOCATION MAP:



COUNCIL DISTRICT:

5

TRACKING NUMBER

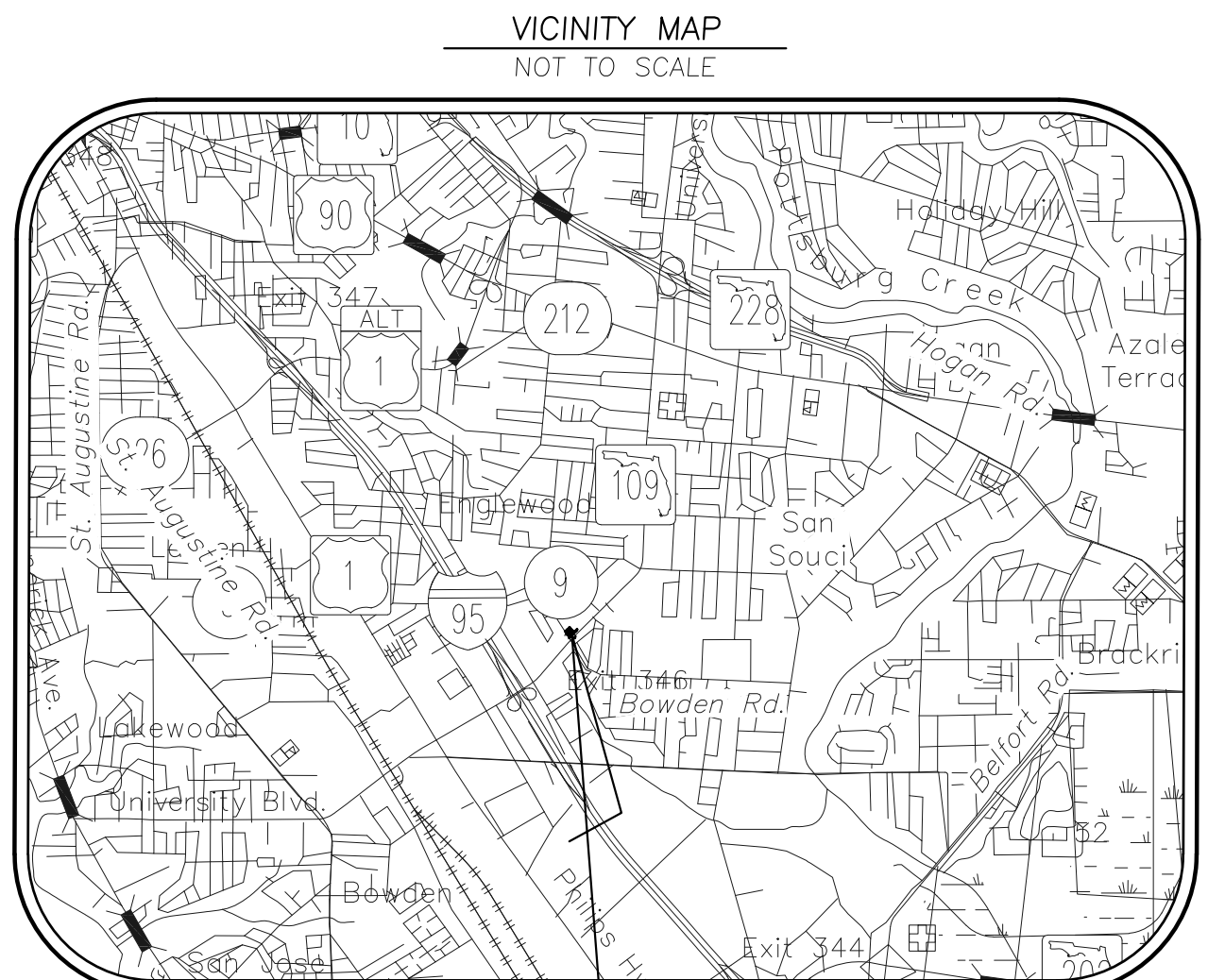
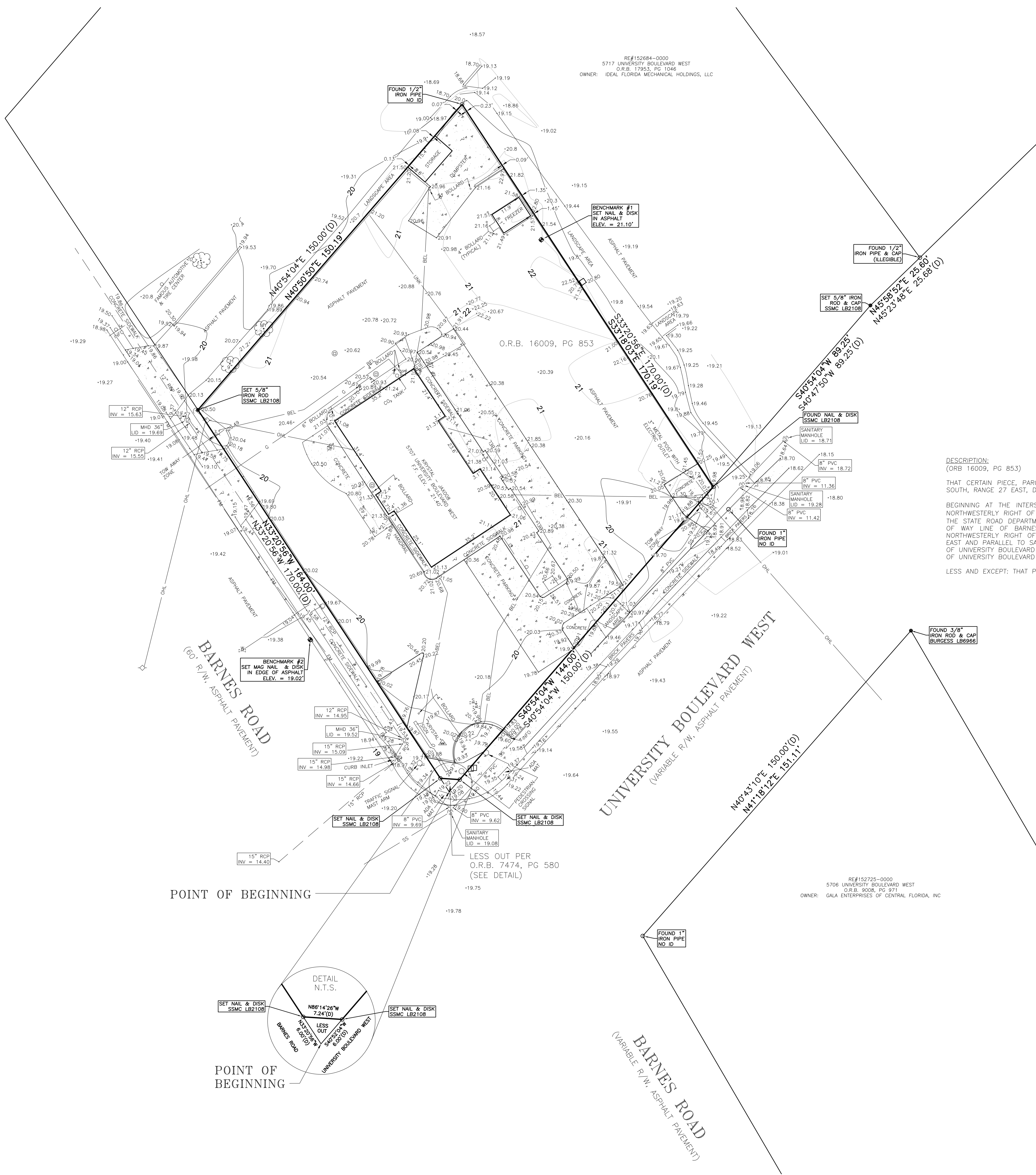
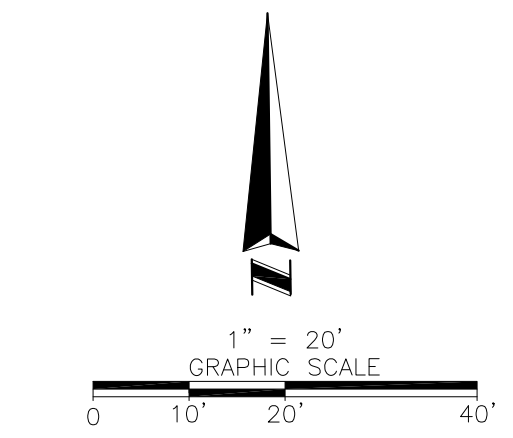
T-2019-2202

**EXHIBIT 2
PAGE 1 OF 1**

LEGEND & ABBREVIATIONS:

- ADA = AMERICAN DISABILITY ACT
- BCL = BURIED CABLE LINE
- BEL = BURIED ELECTRIC LINE
- BFO = BURIED FIBER OPTIC LINE
- G = GAS LINE
- OHL = OVERHEAD UTILITY LINE
- WL = WATER LINE
- SS = SANITARY SEWER
- FM = FORCE MAIN
- UNK = UNKNOWN UTILITY LINE
- PVC = POLYVINYL CHLORIDE PIPE
- RCP = REINFORCED CONCRETE PIPE
- INV = INVERT
- PB = PLAT BOOK
- MB = MAP BOOK
- O.R.B. = OFFICIAL RECORDS BOOK
- PG(S) = PAGE(S)
- (P) = PLAT
- (D) = DEED
- LB = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- RLS = REGISTERED LAND SURVEYOR
- PSM = PROFESSIONAL SURVEYOR AND MAPPER
- ID = IDENTIFICATION
- R/W = RIGHT OF WAY
- FF = FINISH FLOOR ELEVATION
- NAD = NORTH AMERICAN DATUM
- NAVD = NORTH AMERICAN VERTICAL DATUM
- TRAV.PT. = TRAVERSE POINT
- SSMC = SOUTHEASTERN SURVEYING & MAPPING CORPORATION

- CH = CHERRY LAUREL
- L = LAUREL OAK
- MY = CREPE MYRTLE
- @ = SANITARY CLEANOUT
- ⊕ = SEWER VALVE
- ⊕ = IRRIGATION VALVE
- ⊕ = LIGHT POLE
- ⊕ = HOSE BIB
- ⊕ = FIRE HYDRANT
- ⊕ = WATER VALVE
- ⊕ = MONITOR WELL
- ⊕ = POWER POLE
- ⊕ = WIRE PULL BOX
- ⊕ = SANITARY MANHOLE
- ⊕ = DRAINAGE MANHOLE
- ⊕ = SIGN
- ⊕ = ELECTRIC METER
- ⊕ = ELECTRIC OUTLET



DESCRIPTION:
(ORB 16009, PG 853)

THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND SITUATE, LYING AND BEING A PART OF THE F. RICHARD GRANT, SECTION 56, TOWNSHIP 3 SOUTH, RANGE 27 EAST, DUVAL COUNTY, FLORIDA, AND BEING PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHEASTERLY RIGHT OF WAY LINE OF BARNES ROAD (A 60-FOOT RIGHT OF WAY) WITH THE NORTHWESTERLY RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD WEST (AN UN-EVENED RIGHT OF WAY WIDTH) (BOTH AS NOW ESTABLISHED BY THE STATE ROAD DEPARTMENT OF FLORIDA); THENCE NORTH 33 DEGREES 20 MINUTES 56 SECONDS WEST ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE OF BARNES ROAD, 170.00 FEET; THENCE NORTH 40 DEGREES 54 MINUTES 04 SECONDS EAST, AND PARALLEL TO SAID NORTHWESTERLY RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD WEST, 150.00 FEET; THENCE SOUTH 33 DEGREES 20 MINUTES 56 SECONDS EAST AND PARALLEL TO SAID NORTHEASTERLY RIGHT OF WAY LINE OF BARNES ROAD, 170.00 FEET TO SAID NORTHWESTERLY RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD WEST; THENCE SOUTH 40 DEGREES 54 MINUTES 04 SECONDS WEST ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD WEST, 150.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT: THAT PORTION AS DESCRIBED IN O.R. BOOK 7474 AT PAGE 580.

SURVEYOR'S REPORT:

1. Utility locations shown hereon are based on field locations of markings by Southeastern Surveying & Mapping Corp. Field markings are based on signals received from Ground Penetrating Radar (GPR) and electronic equipment. Locations are approximate and Test Holes should be performed for verification.
2. Easements or rights of way that appear on recorded plans or that have been furnished to the surveyor by others have been incorporated into this drawing with appropriate notation. Other easements may be discovered by a search of the Public Records.
3. Minimum Horizontal Accuracy for this survey is in accordance with the STANDARDS OF PRACTICE set forth by the Board of Professional Surveyors and Mappers in Chapter 5J-17 requirements of Florida Administration Code. The map and measurement methods used for this survey meet or exceed this requirement. The dimensions shown hereon are in United States standard feet and decimals thereof.
4. This survey does not determine ownership of the lands shown hereon.
5. Underground foundations have not been located.
6. Survey map and report or the copies thereof are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
7. Features shown by symbol as indicated in the legend are not to scale.
8. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
9. Vertical information shown hereon refers to a concrete monument with aluminum disk stamped "FDOT LB#2648 7201404 BM1" Elevation = 24.14, NAVD88, at Northing: 2158155 and Easting: 462631, FDOT database #7201404.
10. Horizontal positions for all features shown on the map are relative to North American Datum of 1983 (NAD83), 2011 adjustment, State Plane Coordinate System, Florida East Zone, as obtained through the use of a real time network using the Florida Permanent Reference Network (FPRN) and verified through redundant measurements.
11. Bearings shown hereon are based on the Northwesterly right of way line of University Boulevard West, being South 40°54'04" West. Bearings and distances shown hereon are measured unless otherwise noted.
12. I have reviewed the title insurance commitment # NCS-880353-17-ATL, dated December 28, 2017 and all recorded encumbrances, except liens, identified in Schedule B-II of the title insurance commitment have been shown or noted on the survey.
13. Unless shown, only those visible features found within the boundaries of this survey or in the immediate vicinity of the above described parcel boundary have been located.
14. Right of Way information shown hereon was determined by found monumentation, recorded plats, and information obtained on the Duval County Property Appraisers web site. No Right of Way documentation was provided by client.
15. The above described parcel contains 25,500 square feet or 0.59 acres, more or less.
16. Adjacent property information shown hereon, that was not furnished to this surveyor, was compiled using latest available data. No attempt was made by this firm to verify its accuracy.

NOTICE OF LIABILITY:

This survey is certified to those individuals shown on the face thereof. Any other use, benefit or reliance by any other party is strictly prohibited and restricted. Surveyor is responsible only to those certified and hereby disclaims any other liability and hereby restricts the rights of any other individual or firm to use this survey, without express written consent of the surveyor.

ROBERT W. GARDNER
Professional Surveyor and Mapper
Number: 122108

SOUTHEASTERN SURVEYING AND MAPPING CORPORATION
8611 Bayshore Road, Suite 6
Jacksonville, FL 32217
(904) 737-9580 Fax (904) 737-9595
e-mail: info@struc.us
Certification Number: 122108

REV.	REVISION	DATE	BY

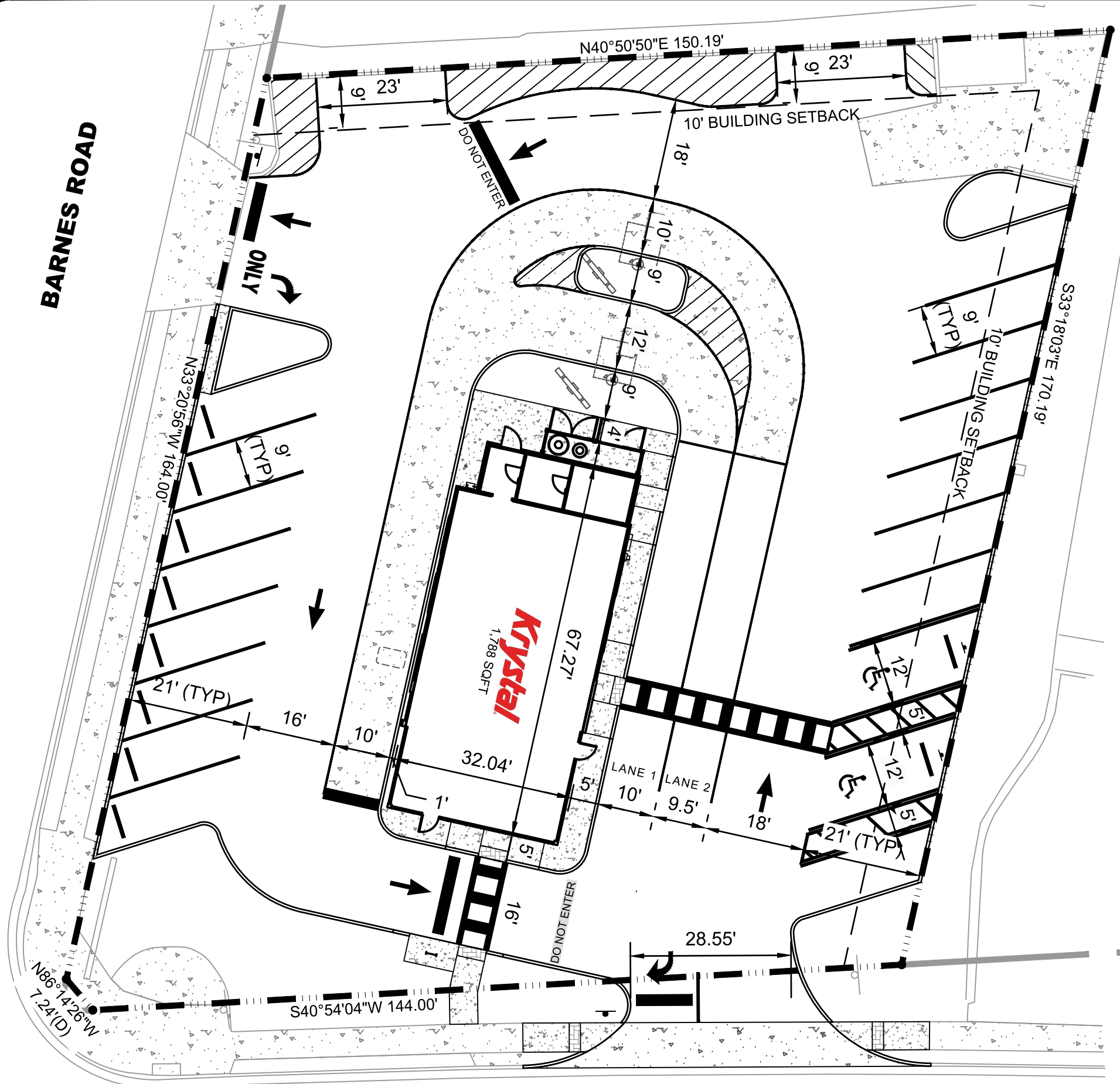
BOUNDARY & TOPOGRAPHIC SURVEY
CRYSTAL JAX008 - 5707 UNIVERSITY BOULEVARD WEST
JACKSONVILLE, DUVAL COUNTY, FLORIDA

Scale: 1" = 20'
Drawn By: SLL
Field Date: 4/7/18

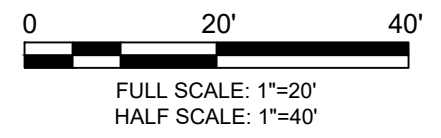
Certified to:
ATKINS North America, Inc

DRAWING NUMBER
J062314001
SHEET NUMBER
1 OF 1

BARNES ROAD



JAX008
 JACKSONVILLE, FL
 5707 UNIVERSITY BOULEVARD
 January 17, 2019



LOT COVERAGE CALCULATIONS:

	EXISTING			PROPOSED		
	Area	SF	%	Area	SF	%
BUILDING AREA	2,468	SF	10.1%	2,043	SF	8.3%
PARKING & SIDEWALK AREA	22,024	SF	89.7%	20,244	SF	82.5%
TOTAL IMPERVIOUS AREA	24,492	SF	99.8%	22,287	SF	90.8%
TOTAL PERVIOUS AREA	56	SF	0.2%	2,261	SF	9.2%
TOTAL SITE AREA	24,548	SF	100.0%	24,548	SF	100.0%

ADJACENT ZONING DISTRICTS AND PROPERTY USES:

- NORTH - CCG-1 (AUTO SERVICE CENTER)
- EAST - CCG-1 (AUTO SERVICE CENTER)
- SOUTH - ROW (FDOT)
- WEST - ROW (CITY OF JACKSONVILLE)

UNIVERSITY BOULEVARD WEST

JAX008 KRYSTAL PLAN

PLAN PREPARED BY:



Member of the SNC-Lavalin Group
 CORPORATE OFFICE:
 4030 W. BOY SCOUT BLVD
 TAMPA, FLORIDA 33607
 FBPR CERTIFICATE OF
 AUTHORIZATION NO.24
 LOCAL OFFICE:
 482 SOUTH KELLER RD
 ORLANDO, FL 32810
 TEL. 407.647.7275
 FAX. 407.806.4500
 www.atkinglobal.com

EXHIBIT A

Property Ownership Affidavit – Limited Liability Company (LLC)

Date: 1/29/19

City of Jacksonville
Planning and Development Department
214 North Hogan Street, Suite 300,
Jacksonville, Florida 32202

Re: Property Owner Affidavit for the following site location in Jacksonville, Florida:

Address: 5707 W University Boulevard RE#(s): 152621-0020

To Whom it May Concern:

I, Reuven Zeavy, as Managing Member of Zeavy LLC, a Limited Liability Company organized under the laws of the state of California, hereby certify that said LLC is the Owner of the property described in Exhibit 1 in connection with filing application(s) for Zoning Application for Administrative Deviation submitted to the Jacksonville Planning and Development Department.

(signature) *Reuven Zeavy*

(print name) Reuven Zeavy

Please provide documentation illustrating that signatory is an authorized representative of the LLC. This may be shown through a printout from sunbiz.org showing that the person is either a "sole member" or a "managing member." Other persons may be authorized through a resolution, power of attorney, etc.

**STATE OF FLORIDA
COUNTY OF DUVAL**

Sworn to and subscribed and acknowledged before me this _____ day of _____ 20____, by _____, as _____, of _____, a Limited Liability Company, who is personally known to me or who has produced _____ as identification and who took an oath.

SEE ATTACHED CERTIFICATE
(Signature of NOTARY PUBLIC) RD

(Printed name of NOTARY PUBLIC)

State of Florida at Large.
My commission expires: _____

California Jurat Certificate

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of LOS ANGELES


s.s.

Subscribed and sworn to (or affirmed) before me on this 29 day of JANUARY,
Month

20 19, by REHVEN ZEAVY and
Name of Signer (1)

_____, proved to me on the basis of
Name of Signer (2)

satisfactory evidence to be the person(s) who appeared before me.


Signature of Notary Public
RAFFI DILSIZIAN

For other required information (Notary Name, Commission No. etc.)



Seal

OPTIONAL INFORMATION

Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this jurat to an unauthorized document and may prove useful to persons relying on the attached document.

Description of Attached Document

The certificate is attached to a document titled/for the purpose of

EXHIBIT A
PROPERTY OWNERSHIP
AFFIDAVIT

containing 2 pages, and dated 01-29-2019

Additional Information

Method of Affiant Identification

Proved to me on the basis of satisfactory evidence:
 form(s) of identification credible witness(es)

Notarial event is detailed in notary journal on:

Page # _____ Entry # _____

Notary contact: _____

Other

Affiant(s) Thumbprint(s) Describe: _____

PG 11

EXHIBIT B

Agent Authorization – Limited Liability Company (LLC)

Date: 1/29/19


City of Jacksonville
Planning and Development Department
214 North Hogan Street, Suite 300,
Jacksonville, Florida 32202

Re: Agent Authorization for the following site location in Jacksonville, Florida:

Address: 5707 W University Boulevard RE#(s): 152621-0020

To Whom It May Concern:

You are hereby advised that Reuven Zeavy, as Managing Member of Zeavy LLC, a Limited Liability Company organized under the laws of the state of California, hereby certify that said LLC is the Owner of the property described in Exhibit 1. Said owner hereby authorizes and empowers Jennifer Vargas, ATKINS to act as agent to file application(s) for Administrative Deviation for the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change as submitted to the Jacksonville Planning and Development Department.

(signature) 
(print name) Reuven Zeavy

**STATE OF FLORIDA
COUNTY OF DUVAL**

Sworn to and subscribed and acknowledged before me this _____ day of _____ 20____, by _____, as _____, of _____, a Limited Liability Company, who is personally known to me or who has produced _____ as identification and who took an oath.

SEE ATTACHED CERTIFICATE
(Signature of NOTARY PUBLIC) RD

(Printed name of NOTARY PUBLIC)

State of Florida at Large.
My commission expires: _____

California Jurat Certificate

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of LOS ANGELES

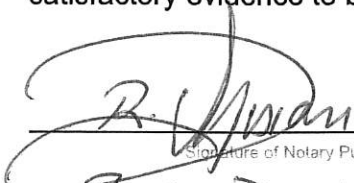
s.s.

Subscribed and sworn to (or affirmed) before me on this 29 day of JANUARY,
Month

20 19, by REUVEN ZEAVY and
Name of Signer (1)

_____, proved to me on the basis of
Name of Signer (2)

satisfactory evidence to be the person(s) who appeared before me.


Signature of Notary Public
RAFFI DILSIZIAN

For other required information (Notary Name, Commission No. etc.)



Seal

OPTIONAL INFORMATION

Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this jurat to an unauthorized document and may prove useful to persons relying on the attached document.

Description of Attached Document

The certificate is attached to a document titled/for the purpose of

EXHIBIT B
AGENT AUTHORIZATION

containing 2 pages, and dated 01-29-2019

Additional Information

Method of Affiant Identification

Proved to me on the basis of satisfactory evidence:
 form(s) of identification credible witness(es)

Notarial event is detailed in notary journal on:

Page # _____ Entry # _____

Notary contact: _____

Other

Affiant(s) Thumbprint(s) Describe: _____

EXHIBIT 1

Legal Description



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Foreign Limited Liability Company
ZEAVY LLC

Filing Information

Document Number M12000004406
FEI/EIN Number 65-1250263
Date Filed 08/06/2012
State CA
Status ACTIVE

Principal Address

4653 Camellia Ave
North Hollywood, CA 91602

Changed: 04/18/2018

Mailing Address

4653 Camellia Ave
North Hollywood, CA 91602

Changed: 04/18/2018

Registered Agent Name & Address

PARACORP INCORPORATED
155 OFFICE PLAZA DRIVE
1ST FLOOR
TALLAHASSEE, FL 32301

Name Changed: 04/23/2015

Address Changed: 12/03/2014

Authorized Person(s) Detail

Name & Address

Title MGR

ZEAVY, REUVEN
4653 CAMELLIA AVE.
NORTH HOLLYWOOD, CA 91602

Title MANAGING MEMBER

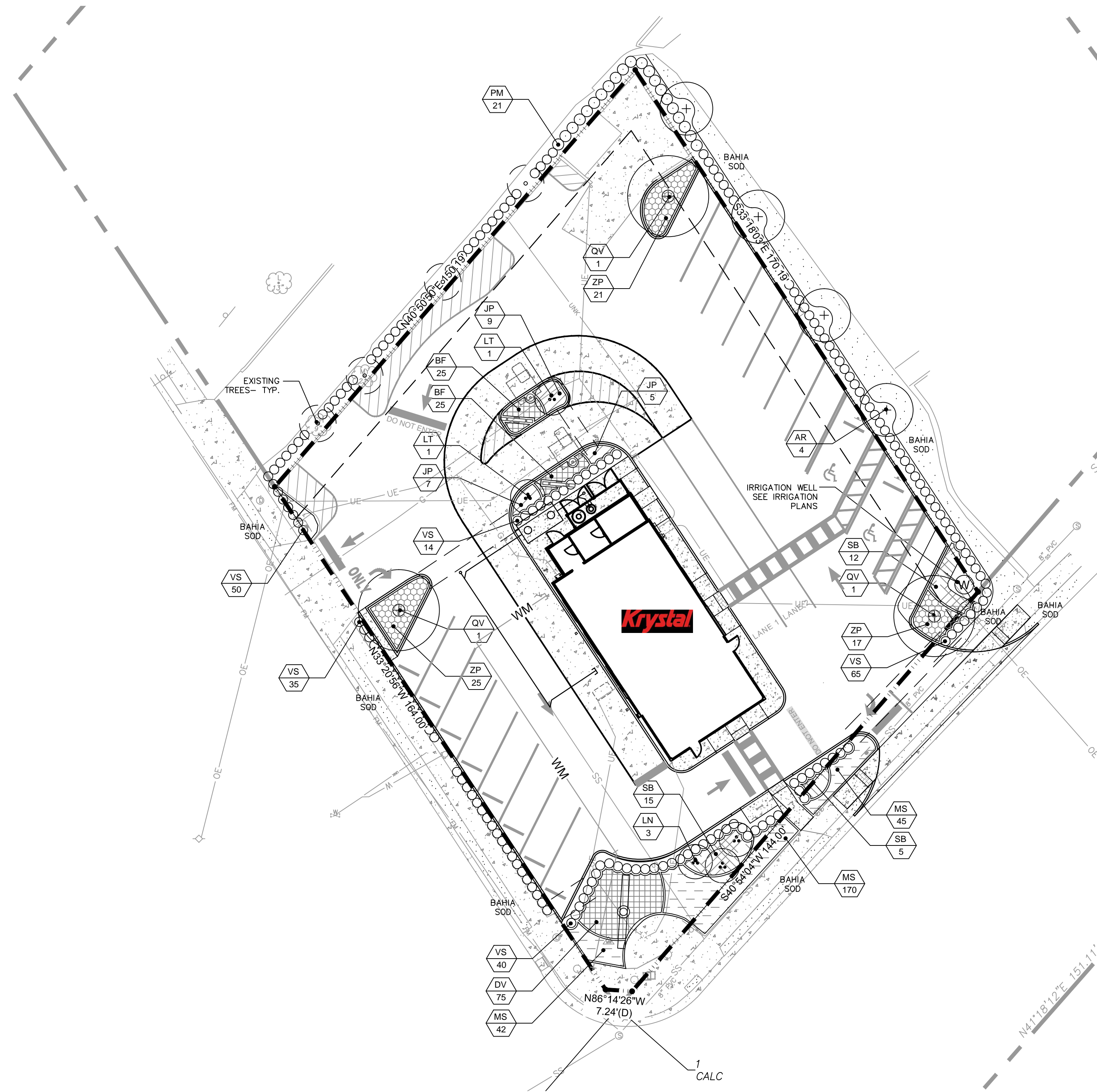
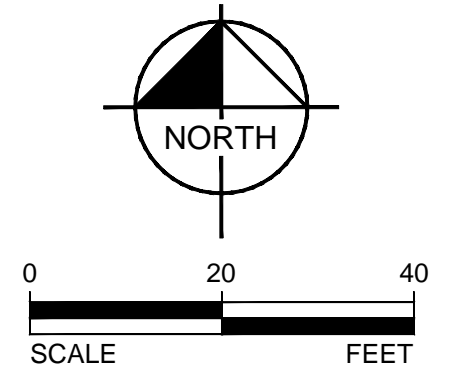
Martin Zeavy, Marlene
4653 CAMELLIA AVE
NORTH HOLLYWOOD, CA 91602

Annual Reports

Report Year	Filed Date
2016	04/25/2016
2017	04/20/2017
2018	04/18/2018

Document Images

04/18/2018 -- ANNUAL REPORT	View image in PDF format
04/20/2017 -- ANNUAL REPORT	View image in PDF format
04/25/2016 -- ANNUAL REPORT	View image in PDF format
04/23/2015 -- ANNUAL REPORT	View image in PDF format
04/24/2014 -- ANNUAL REPORT	View image in PDF format
04/04/2013 -- ANNUAL REPORT	View image in PDF format
11/13/2012 -- Reg. Agent Change	View image in PDF format
08/06/2012 -- Foreign Limited	View image in PDF format



JACKSONVILLE SUBPART C- LANDSCAPING REQUIREMENTS:

LANDSCAPE BUFFERS:

	REQUIRED	PROVIDED
FRONT:	0 FT	0 FT
SIDE:	0 FT	0 FT
SIDE STREET:	0 FT	0 FT
REAR:	0 FT	0 FT

MINIMUM TREE PLANTING REQUIREMENTS:

1 TREE SHALL BE PLANTED OR PRESERVED FOR EVERY 5,000 SF OF LOT AREA. MINIMUM 50% OF ALL REQUIRED TREES SHALL BE SHADE TREES.

24,584 SF / 5,000 SF = 5 TREES (3 SHADE) REQUIRED
5 TREES (3 SHADE) PROVIDED

VEHICULAR USE AREA INTERIOR LANDSCAPING:

MINIMUM 10% OF VEHICULAR USE AREA SHALL BE LANDSCAPED. MINIMUM 25% OF REQUIRED LANDSCAPING AREA SHALL BE COVERED WITH SHRUBS.

VUA LANDSCAPE AREA (19,316 SF X 0.10) = 1,932 SF REQUIRED
2,261 SF PROVIDED

VUA SHRUBS (1,134 SF X 0.25) = 283 SF OF SHRUBS REQUIRED
540 SF OF SHRUBS PROVIDED

VUA TREES (19,316 SF / 4,000) = 5 TREES REQUIRED
5 TREES PROVIDED

PERIMETER LANDSCAPING ADJACENT TO STREETS:

A LANDSCAPED AREA OF NOT LESS THAN 10 SF FOR EACH LINEAR FOOT OF VUA STREET FRONTAGE ABUTTING THE R-O-W EXCEPT FOR DRIVEWAYS. MINIMUM 1 TREE PER 50 LF OF VUA STREET FRONTAGE.

BARNES RD.:

117 LF / 50 LF = 3 TREES REQUIRED
1 TREE PROVIDED

UNIVERSITY BLVD. WEST:

90 LF / 50 LF = 2 TREES REQUIRED
3 TREES PROVIDED

PERIMETER LANDSCAPING ADJACENT TO ABUTTING PROPERTIES:

A CONTINUOUS LANDSCAPE AREA AT LEAST 5' WIDE BETWEEN THE VUA AND THE ABUTTING PROPERTY, LANDSCAPED WITH SHRUBS, GROUNDCOVERS, MULCH & GRASS. MINIMUM 1 TREE PER 50 LF OF VUA

NORTHEAST PROPERTY LINE:

170 LF / 50 LF = 4 TREES REQUIRED
4 TREES PROVIDED

NORTHWEST PROPERTY LINE:

150 LF / 50 LF = 3 TREES REQUIRED
4 EXISTING TREES PROVIDED

LANDSCAPE PLANT MATERIALS

QTY	SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	NATIVE	TOTAL CALIPER
4	AR	ACER RUBRUM 'HOSR' / 'SUMMER RED' MAPLE	FIELDGROWN, 3" CALIPER, 14' HT. X 5' SPD.	YES	12"
3	LN	LAGERSTROEMIA INDICA / 'NATCHEZ' CRAPE MYRTLE	30 GAL., 2" CALIPER TOTAL, 10' HT. X 3' SPD., MULTI-TRUNK	NO	6"
2	LT	LAGERSTROEMIA INDICA / 'TUSKEEGEE' CRAPE MYRTLE	30 GAL., 2" CALIPER TOTAL, 10' HT. X 3' SPD., MULTI-TRUNK	NO	4"
3	QV	QUERCUS VIRGINIANA / 'CATHEDRAL' OAK	100 GAL., 3.5" CALIPER, 14' HT X 6' SPD.	YES	10.5"

SHRUBS/ GROUNDCOVERS

50	BF	BULBINE FLAVASCENS/ YELLOW BULBINE	1 GAL., 12" HT., FULL, 18" O.C. SPACING	NO
75	DV	DIETES VEGETA/ WHITE AFRICAN IRIS	1 GAL., 12" HT., FULL, 18" O.C. SPACING	NO
21	JP	JUNIPERUS CONFERTA/ BLUE PACIFIC JUNIPER	3 GAL., 18" SPD., FULL, 30" O.C. SPACING	NO
257	MS	MIMOSA STRIGILLOSA/ SUNSHINE MIMOSA	1 GAL., FULL, 18" O.C. SPACING	YES
21	PM	PODOCARPUS MACROPHYLLA/ PODOCARPUS	7 GAL., 30" HT. X 24" SPD., 30" O.C. SPACING	NO
27	SB	SPARTINA BAKERI/ SAND CORDGRASS	3 GAL., 24" HT., FULL, 36" O.C. SPACING	YES
204	VS	VIBURNUM OBOVATUM 'SELECT'/ WALTER'S VIBURNUM	7 GAL., 30" HT. X 24" SPD., 30" O.C. SPACING	YES
63	ZP	ZAMIA PUMILA/ COONTIE FERN	3 GAL., 18" HT. X 18" SPD., FULL, 30" O.C. SPACING	YES

SOD/ MULCH

S.F.	SOD	PASPALUM NOTATUM/ ARGENTINE BAHIA GRASS	S.F. DETERMINED BY LANDSCAPE CONTRACTOR
C.Y.	MULCH	DOUBLE-GROUND HARDWOOD MULCH, COCOA BROWN	2"- 3" THICK IN ALL PLANTING AREAS

LANDSCAPE GENERAL NOTES

- LANDSCAPING SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES AND SHALL BE REPLACED IN THE EVENT OF DISEASE OR DEATH OF PLANT MATERIALS. THE ENFORCEMENT OFFICIAL SHALL NOTIFY THE PROPERTY OWNER WHICH PLANT MATERIAL ARE DISEASED OR DEAD AND THEN THE PROPERTY OWNER SHALL REPLACE SAID MATERIAL WITHIN 30 DAYS OF NOTIFICATION.
- LANDSCAPE MATERIALS SHALL BE PRUNED ONLY TO PROMOTE HEALTHY, UNIFORM NATURAL GROWTH OF THE VEGETATION. TREES SHALL NOT BE PRUNED SEVERELY IN ORDER TO PERMANENTLY MAINTAIN GROWTH AT A REDUCED HEIGHT OR SPREAD. THE OWNER SHALL REPLACE SEVERELY PRUNED TREES.
- THE OWNER, OR HIS AGENT, IF ANY, SHALL BE JOINTLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING IN GOOD CONDITION SO AS TO PRESENT A NEAT, HEALTHY AND ORDERLY APPEARANCE, FREE OF REFUSE AND DEBRIS.
- ANY DEAD OR SEVERELY DAMAGED PLANT MATERIALS, INCLUDING TREES, SHALL BE REPLACED BY THE OWNER, TENANT OR AGENT AS PART OF ROUTINE MAINTENANCE.
- IRRIGATION SYSTEM SHALL BE OPERATED AND MAINTAINED BY THE DEVELOPER/ PROPERTY OWNER IN SUCH A MANNER AS TO ENSURE CONTINUED IRRIGATION TO THE LANDSCAPE AREAS.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO ACCEPTED COMMERCIAL PLANTING PROCEDURES AS PRESCRIBED BY THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.
- ALL SOIL PROVIDED SHALL BE FREE OF LIMEROCK, PEBBLES OR OTHER CONSTRUCTION DEBRIS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS FOR FLORIDA NO. 1, AS DETERMINED BY FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIFIED PLANT MATERIAL SIZES, HEIGHTS, AND SPREADS SHALL BE CONSIDERED MINIMUM PLANTING REQUIREMENTS. ALL PARKING LOT AREAS RECEIVING TREES SHALL HAVE UNCOMPACTED COARSE LOAM THAT IS A MINIMUM 36" DEEP. ALL COMPACTED SOIL, CONTAMINATED SOIL OR ROAD BASE SHALL BE REMOVED. SOILS IN PLANTING AREAS MUST BE APPRECIABLY FREE OF GRAVEL, STONES, RUBBLE OR TRASH.

NO.	PER CITY COMMENTS	REVISIONS	DATE	BY
			02/18/19	BW

ALOHA PACIFICA LLC
LANDSCAPE ARCHITECTURE + PLANNING
605 E. MONROE STREET, SUITE 400 ORLANDO, FLORIDA 32801
(407) 381-1888 EXT. 1000 www.alohapacificallc.com



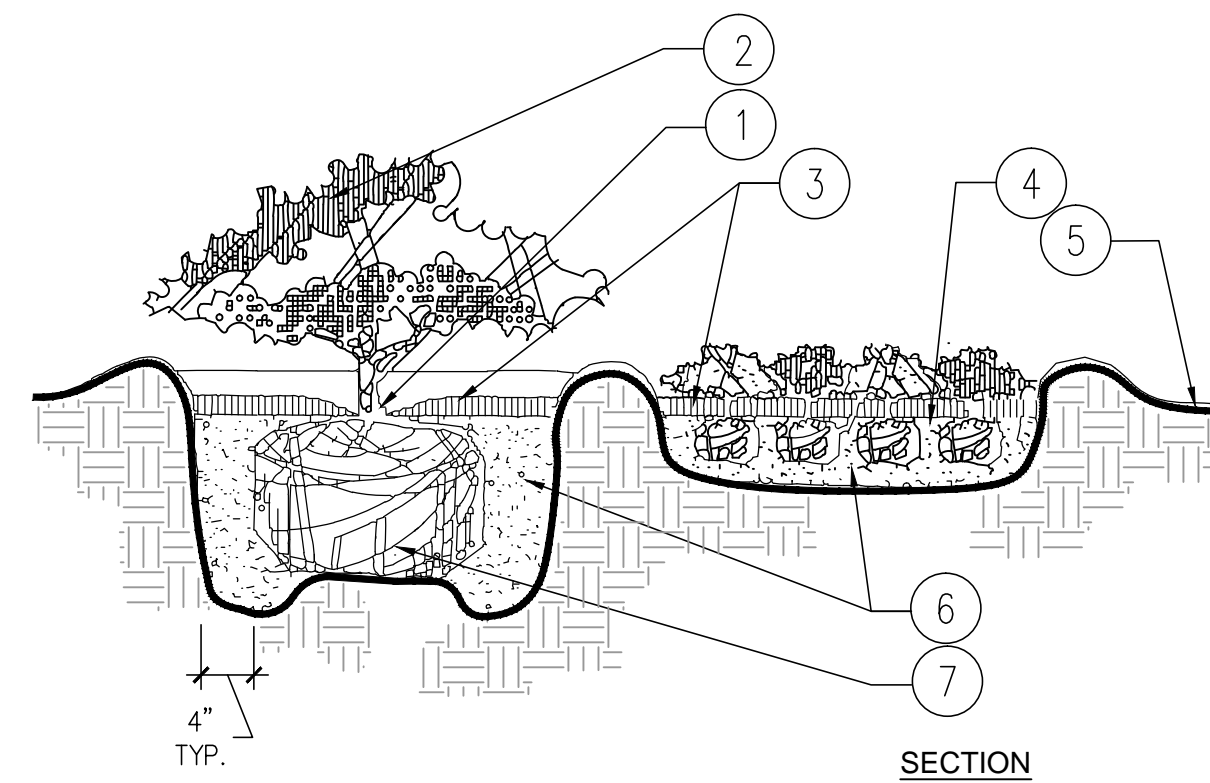
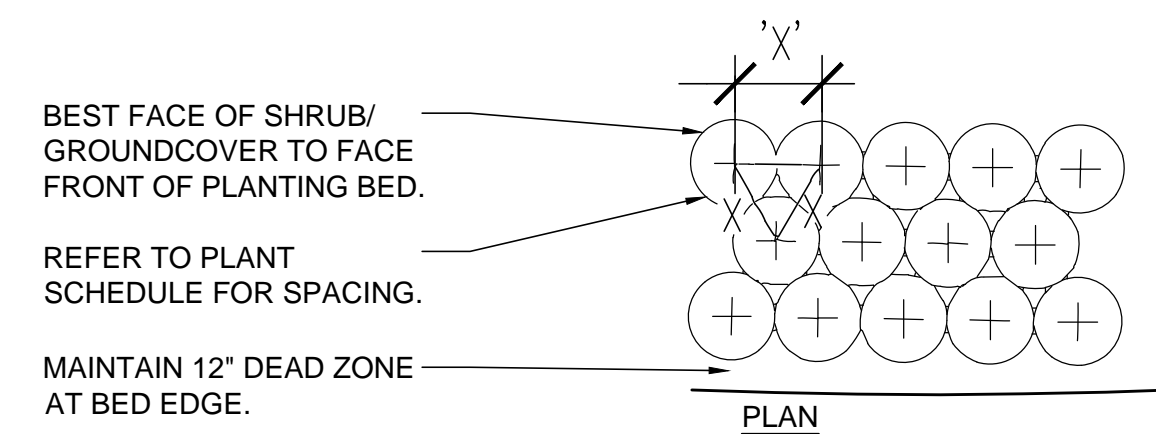
SCALE AS NOTED	DESIGNED BY GR
	DRAWN BY BW
	CHECKED BY GR

LANDSCAPE PLAN

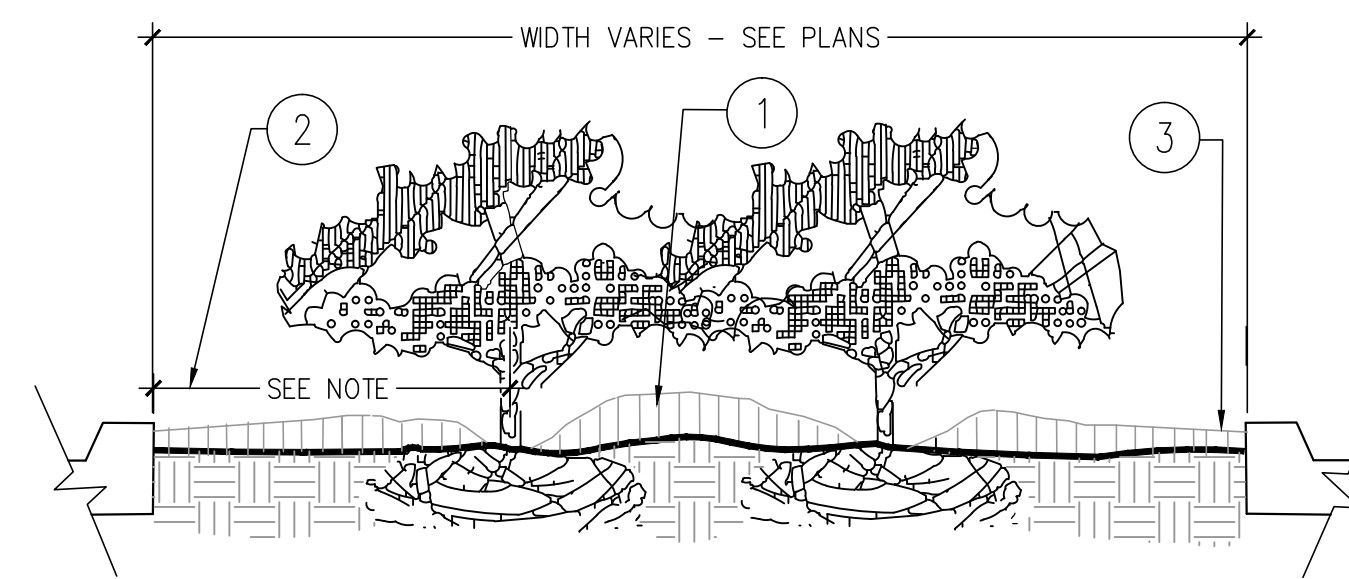
Krystal
5707 UNIVERSITY BLVD. WEST
JACKSONVILLE FLORIDA

DATE	02/18/19
PROJECT NO.	
SHEET NUMBER	L100

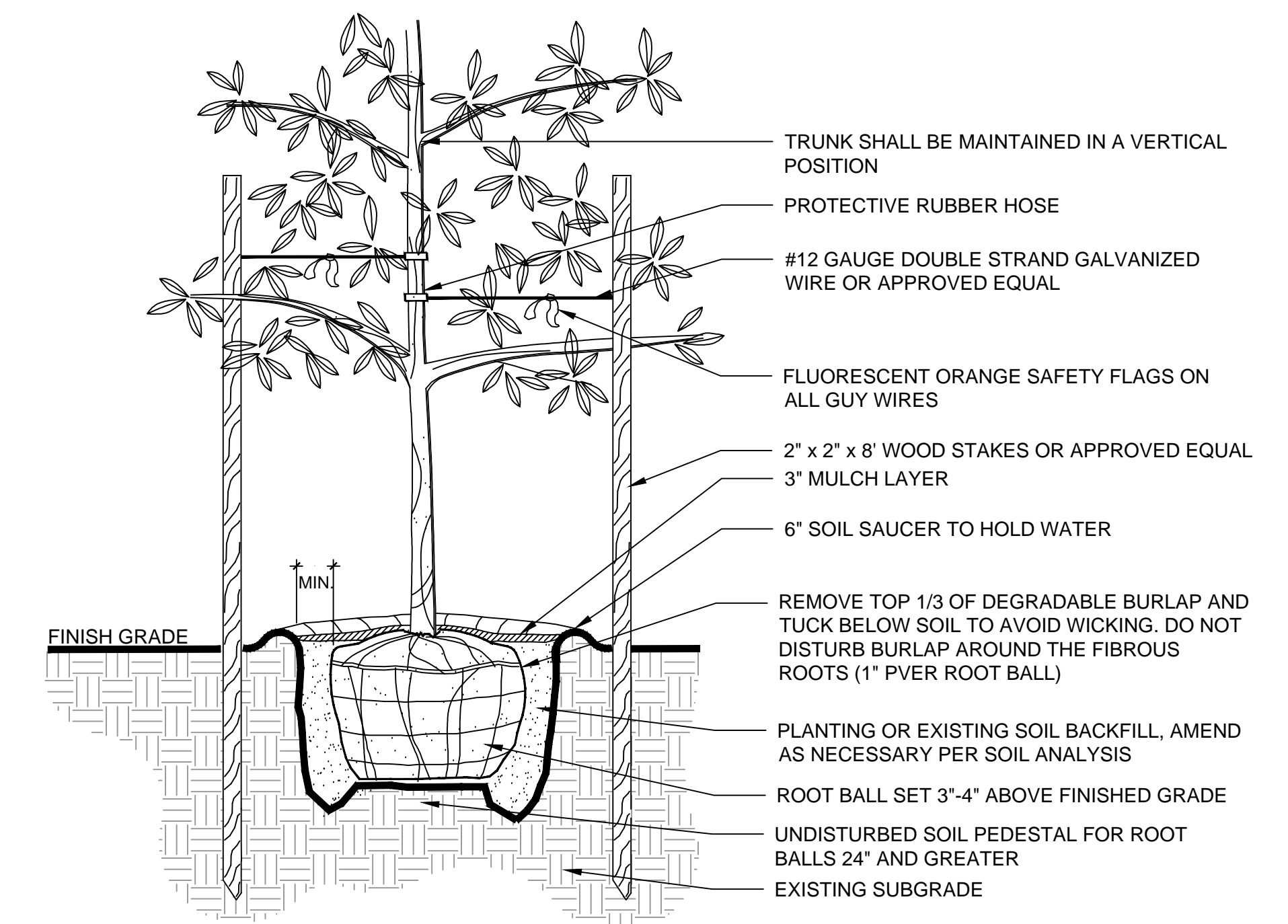




- NOTES:**
1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
 2. PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT.
 3. 3" MINIMUM MULCH AS SPECIFIED.
 4. EXCAVATE ENTIRE BED SPECIFIED FOR GROUND COVER BED.
 5. FINISHED GRADE (SEE GRADING PLAN).
 6. PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES) NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
 7. SCARIFY ROOTBALL SIDES AND BOTTOM.



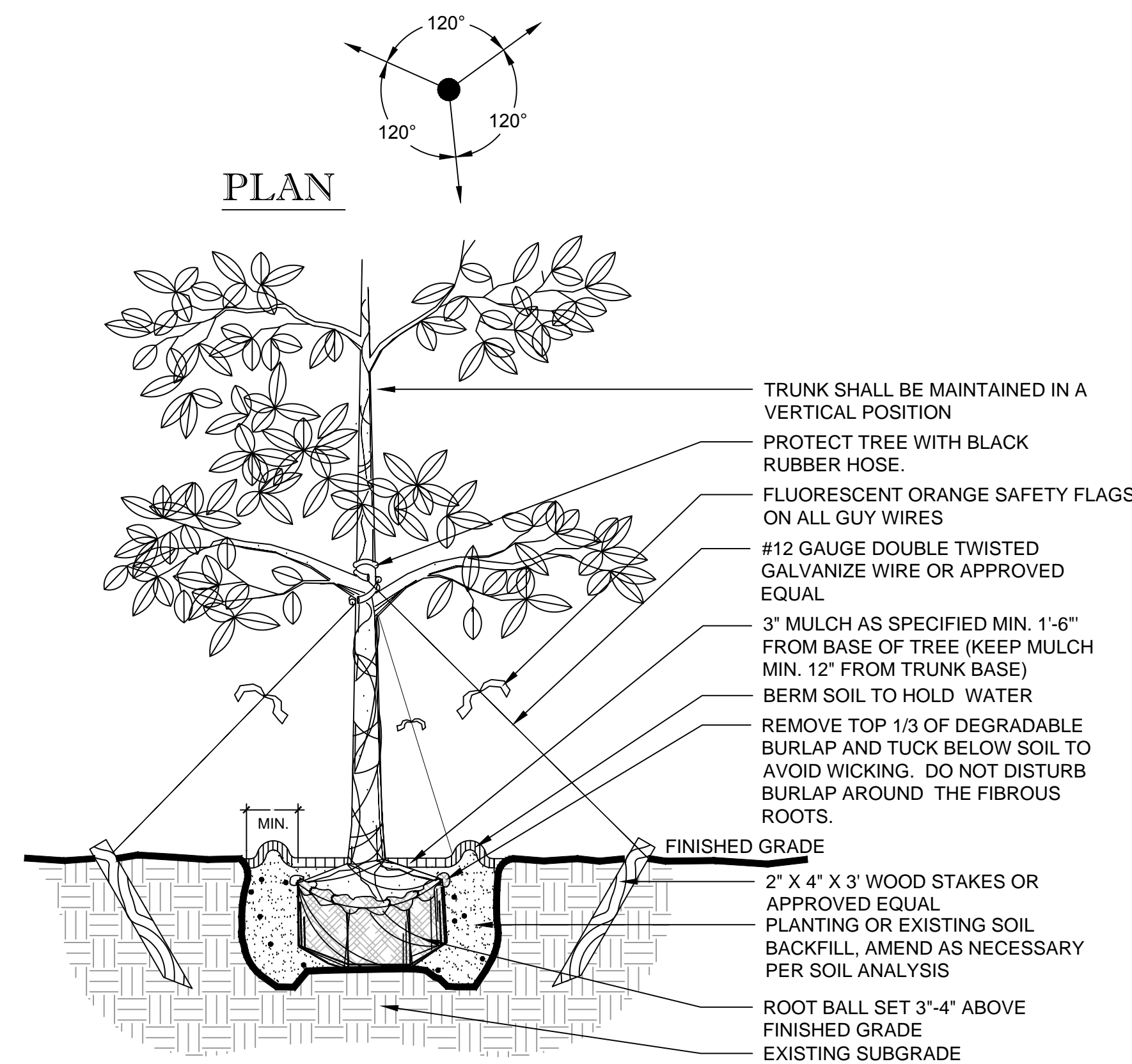
- PLANTER ISLAND NOTES:**
1. CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
 2. CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF. SEE PLANS.
 3. 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.
- NOTES:**
- a. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX. PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 - b. ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.



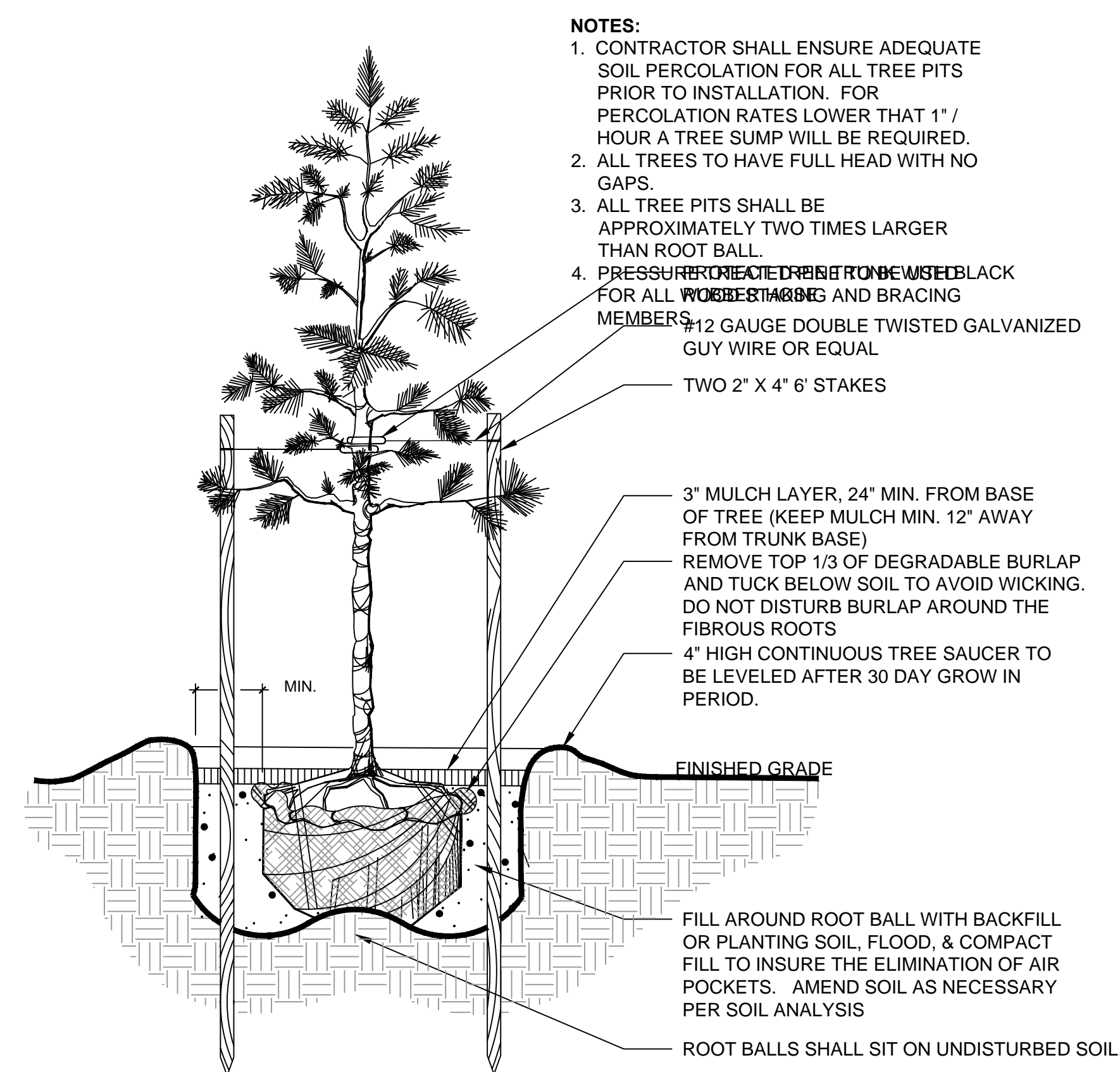
③ UNDERSTORY TREE PLANTING NOT TO SCALE

① SHRUB/ GROUND COVER PLANTING NOT TO SCALE

② PARKING LOT ISLAND PLANTING NOT TO SCALE

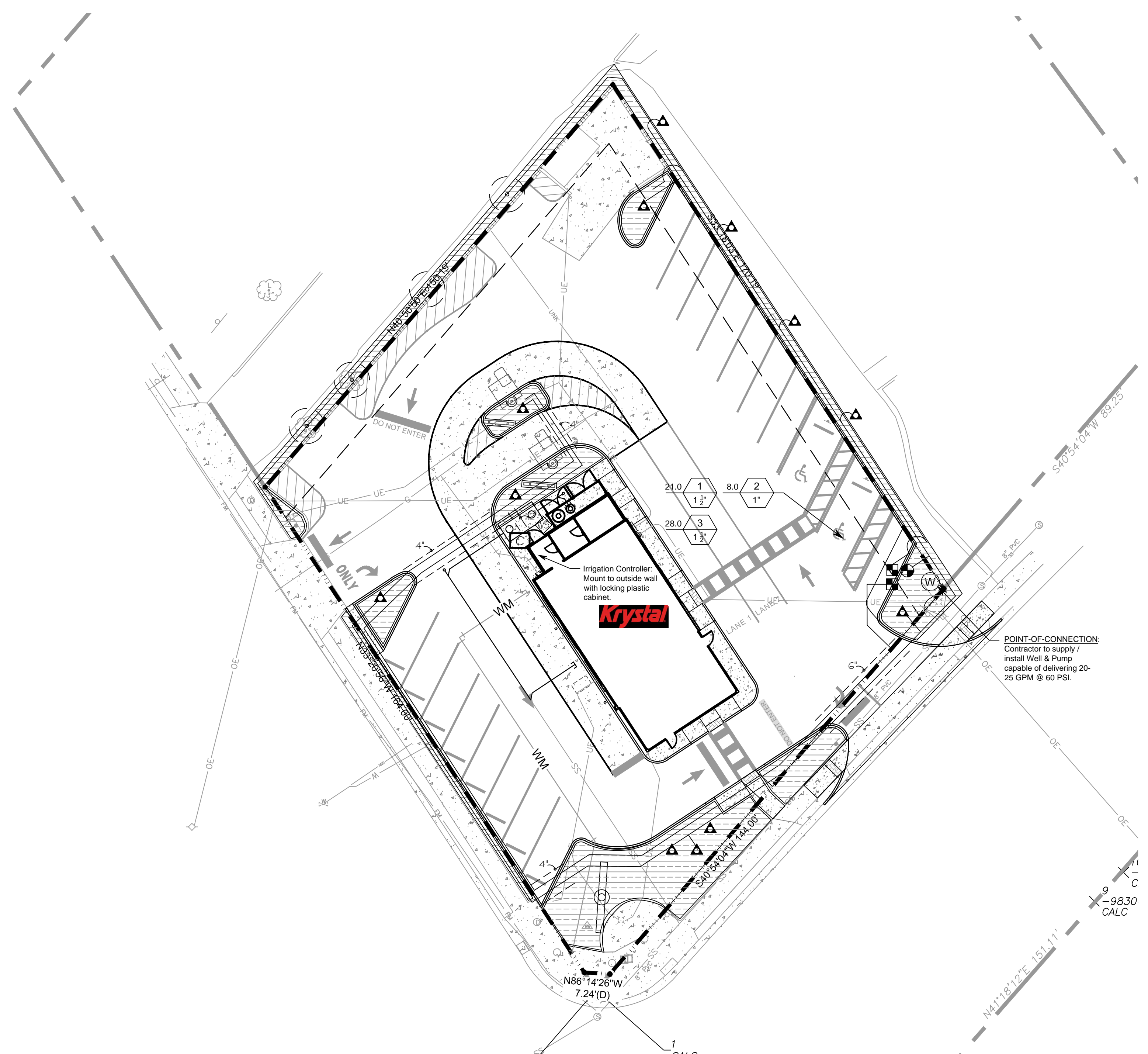


④ CANOPY TREE PLANTING NOT TO SCALE



④ CONIFER TREE PLANTING NOT TO SCALE

SCALE AS NOTED	DESIGNED BY GR	DRAWN BY BW	CHECKED BY GR
LANDSCAPE DETAILS			
Krystal			
5707 UNIVERSITY BLVD. WEST JACKSONVILLE FLORIDA			
DATE	02/18/19	PROJECT NO.	
SHEET NUMBER	L101	PER CITY COMMENTS	REVISIONS
		No.	DATE
			02/18/19 BW
			BY



IRRIGATION SCHEDULE

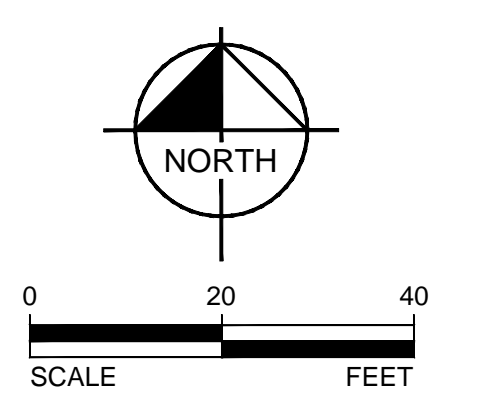
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
EST LCS CST SST	Rain Bird 1806 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30
Q T H F	Rain Bird 1806 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30
Q T H F	Rain Bird 1806 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30
4 6 8 10 12	Rain Bird 1806 ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30
1402 1404 1408	Rain Bird 1806-1400 Flood Flood Bubbler 6.0" popup	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
[Symbol]	Rain Bird XCV-100-PRB-COM Zone Control Kit Pre-Assembled Control Zone Kit, with 1" Series 80 Control Valve, 3/4" Disc Filter, and High Flow Pressure Regulator 4.5GPM to 17.6GPM.
[Symbol]	Area to Receive Dripline: Rain Bird XFCV Dripline with heavy duty Chrcck Valve Teehline Pressure Compensating Landscape Dripline with Check Valve. 0.6GPH emitters at 12.0" O.C. Dripline laterals spaced at 12.0" apart, with emitters offset for triangular pattern. 17mm.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
[Symbol]	Rain Bird PEB-PRS-D 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.
[Symbol]	Rain Bird ESP8LXME 8- Station Commercial Controller. Mounted on a locking Plastic Wall Mount.
[Symbol]	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter.
[Symbol]	Point-of-Connection: Contractor to supply / install Well & Pump capable of delivering 20- 25 GPM @ 60 PSI
[Symbol]	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 irrigation pipe.
[Symbol]	Irrigation Mainline: 1 1/2" PVC Schedule 40 PVC Schedule 40 irrigation pipe.
[Symbol]	Pipe Sleeve: PVC Class 200 SDR 21
[Symbol]	Valve Callout: Valve Number, Valve Flow, Valve Size

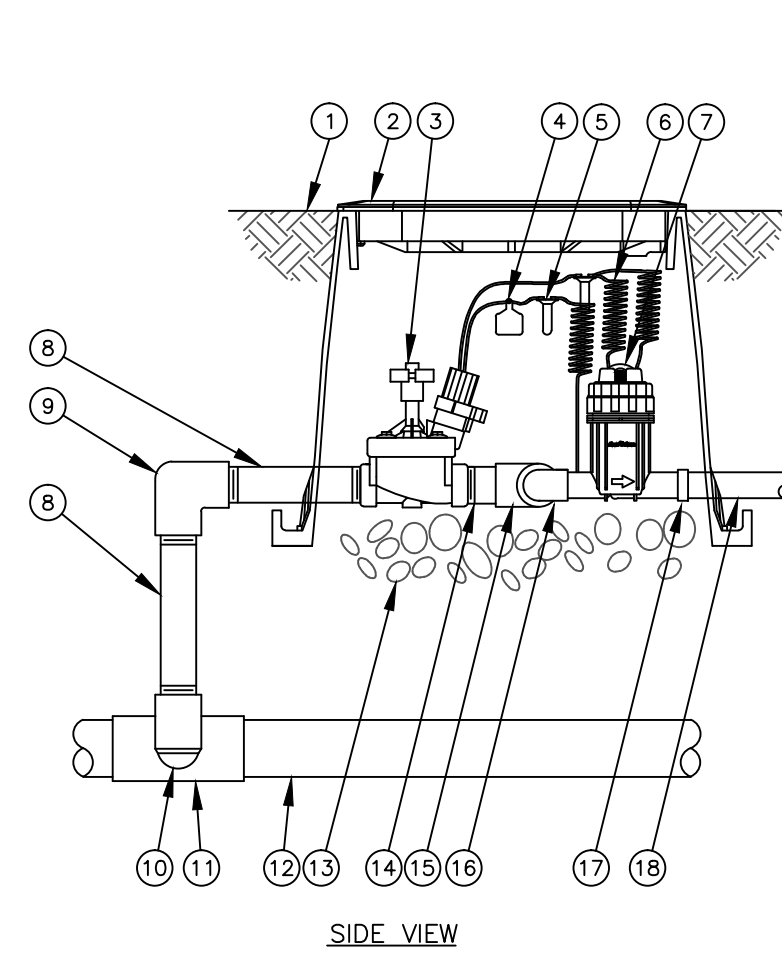
IRRIGATION GENERAL NOTES:

- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL VERIFY.
- INSTALLATION OF WORK SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR A SPEEDY AND ORDERLY COMPLETION OF ALL WORK ON-SITE.
- IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
- ALL QUANTITIES AND CALCULATIONS ARE SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FINAL QUANTITIES AND CALCULATIONS TO ENSURE SYSTEM IS FULLY OPERATIONAL.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE POWER SUPPLY TO ELECTRIC CONTROLLERS.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
- ALL COMPONENTS OF THE IRRIGATION SYSTEM SHALL BE PURPLE AS MANUFACTURED FOR EFFLUENT DISTRIBUTION. THIS SHALL INCLUDE AT A MINIMUM PURPLE PIPE, PURPLE AUTOMATIC VALVES, PURPLE VALVE LID COVERS, AND PURPLE HEAD COVERS.
- LOCATE ALL COMPONENTS WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. MAINLINE SHALL NOT BE LOCATED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
- ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES.
- ALL PRESSURIZED MAINLINES UNDER ASPHALT PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
- SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.
- NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL HOSE BIBB VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "HB". LETTER OUTSIDE OF TIMECLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
- THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "CAUTION: IRRIGATION LINE BURIED BELOW." THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
- ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN NDS VALVE BOXES AS FOLLOWS: RECTANGULAR 12"x17" HEAVY DUTY BOX WITH PURPLE COVER FOR REUSE
- ALL IRRIGATION HEADS/DRIP TUBING SHALL BE LOCATED TWO (2) FEET FROM BACK OF CURB WHEN NEXT TO A ROADWAY.
- LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE.
- IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR CONTROLLER LOCATIONS.
- CONTRACTOR SHALL CONFIRM EXISTING CONDITIONS AND VERIFY PERFORMANCE OF EXISTING RAIN SENSOR WITH AUTOMATIC SHUTOFF DEVICE. CONTRACTOR SHALL REPAIR AND REPLACE IF NECESSARY. COORDINATE WITH OWNER'S REPRESENTATIVE.
- ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY CONTRACTOR.
- ALL CONTROL WIRE SHALL BE INSTALLED IN A 1 1/2" ELECTRICAL CONDUIT.

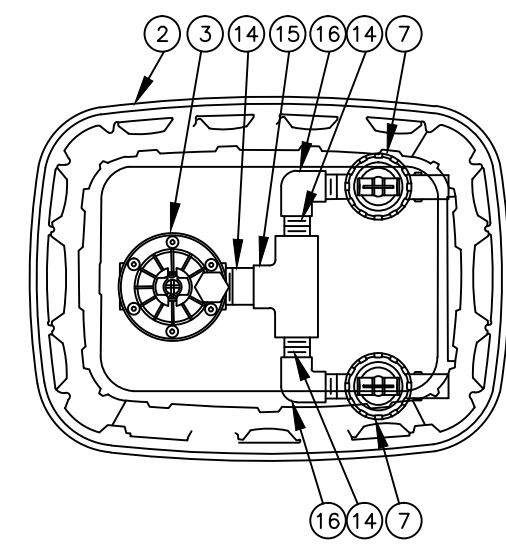


<p>IRRIGATION PLAN</p>	<p>ALPHA PACIFICA LLC LANDSCAPE ARCHITECTURE + PLANNING 605 E. MONROE STREET, SUITE 400 (MIAMI, FLORIDA 33130) (305) 388-0888 OFFICE 388-0888 MOBILE</p>
<p>5707 UNIVERSITY BLVD., WEST JACKSONVILLE FLORIDA</p>	<p>DATE: 02/18/19 PROJECT NO. SHEET NUMBER: L200</p>
<p>SCALE AS NOTED DESIGNED BY: GR DRAWN BY: BW CHECKED BY: GR</p>	<p>PER CITY COMMENTS: NO. REVISIONS: NO. DATE: 02/18/19 BY:</p>

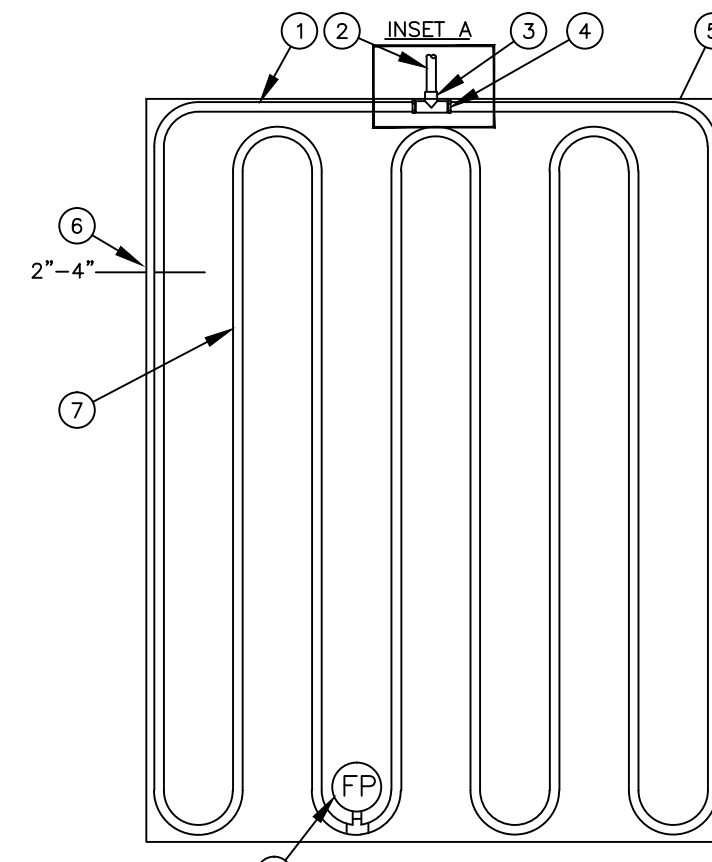




- 1 FINISH GRADE/TOP OF MULCH
- 2 VALVE BOX WITH COVER: RAIN BIRD VB-STD
- 3 REMOTE CONTROL VALVE: RAIN BIRD 150-PESB (INCLUDED IN XZC-PRB-150-COM KIT)
- 4 ID TAG
- 5 WATERPROOF CONNECTION: RAIN BIRD DR SERIES
- 6 30-INCH LINEAR LENGTH OF WIRE, COILED
- 7 PRESSURE REGULATING QUICK CHECK BASKET FILTER: RAIN BIRD PRB-QKCHK-100 (INCLUDED IN XZC-PRB-150-COM KIT)
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 11 PVC SCH 40 TEE OR ELL
- 12 MAINLINE PIPE
- 13 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 14 PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XZC-PRB-150-COM KIT)
- 15 PVC SCH 40 TEE (INCLUDED IN XZC-PRB-150-COM KIT)
- 16 PVC SCH 40 ELL (INCLUDED IN XZC-PRB-150-COM KIT)
- 17 PVC SCH 40 FEMALE ADAPTOR
- 18 LATERAL PIPE

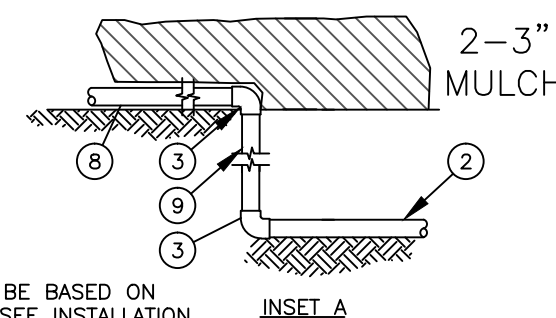


TOP VIEW

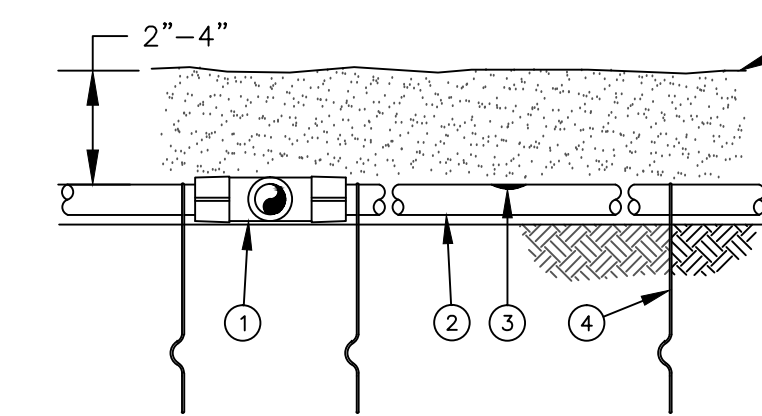


- 1 PVC EXHAUST HEADER
- 2 PVC DRIP MANIFOLD FROM RAIN BIRD CONTROL ZONE VALVE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 3 PVC SCH 40 TEE OR ELL (TYPICAL)
- 4 BARB X MALE FITTING: RAIN BIRD XFD-MA FITTING (TYPICAL)
- 5 PERIMETER OF AREA
- 6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 7 ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE (TYPICAL) POTABLE: XFD DRIPLINE NON-POTABLE: XFDP DRIPLINE
- 8 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFD FLUSH POINT"
- 9 PVC SCH 40 RISER PIPE

Inlet Pressure psi	XFD Dripline Maximum Lateral Lengths (Feet)		
	12" Spacing	18" Spacing	24" Spacing
0.6	0.9	0.6	0.9
15	255	194	357
20	291	220	408
30	350	266	494
40	396	302	560
50	434	333	614



- NOTES:
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.



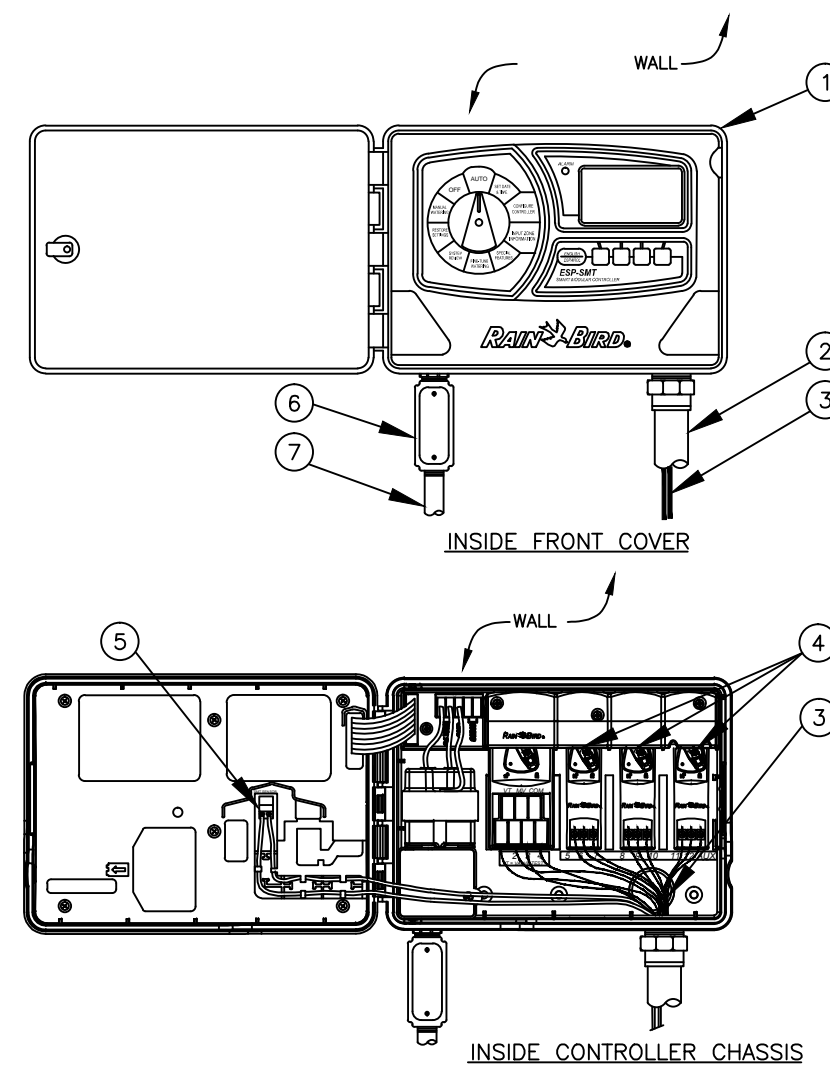
- 1 EASY FIT COMPRESSION TEE: RAIN BIRD MDCFTTE
- 2 ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFD DRIPLINE NON-POTABLE: XFDP DRIPLINE
- 3 INLINE DRIP EMITTER OUTLET
- 4 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)
- 5 MULCH
- 6 FINISH GRADE

- NOTES:
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

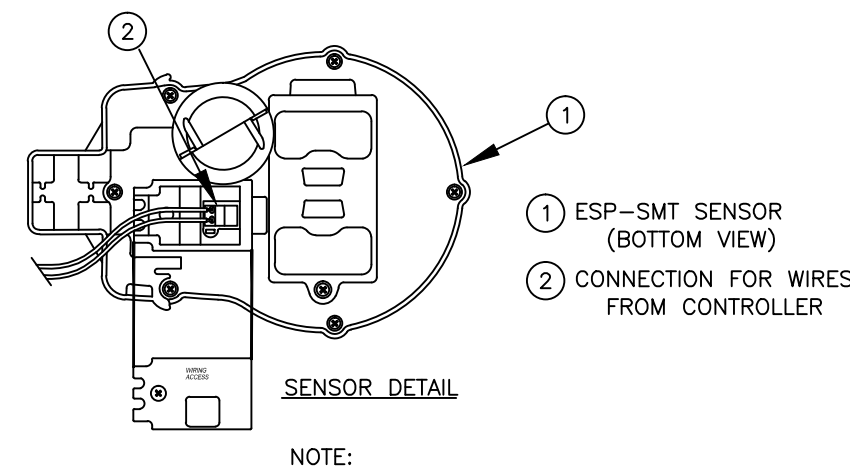
1 XZC-150-PRB-com 1 1/2" Commercial Control Kit
NOT TO SCALE

2 XFD Dripline Layout
NOT TO SCALE

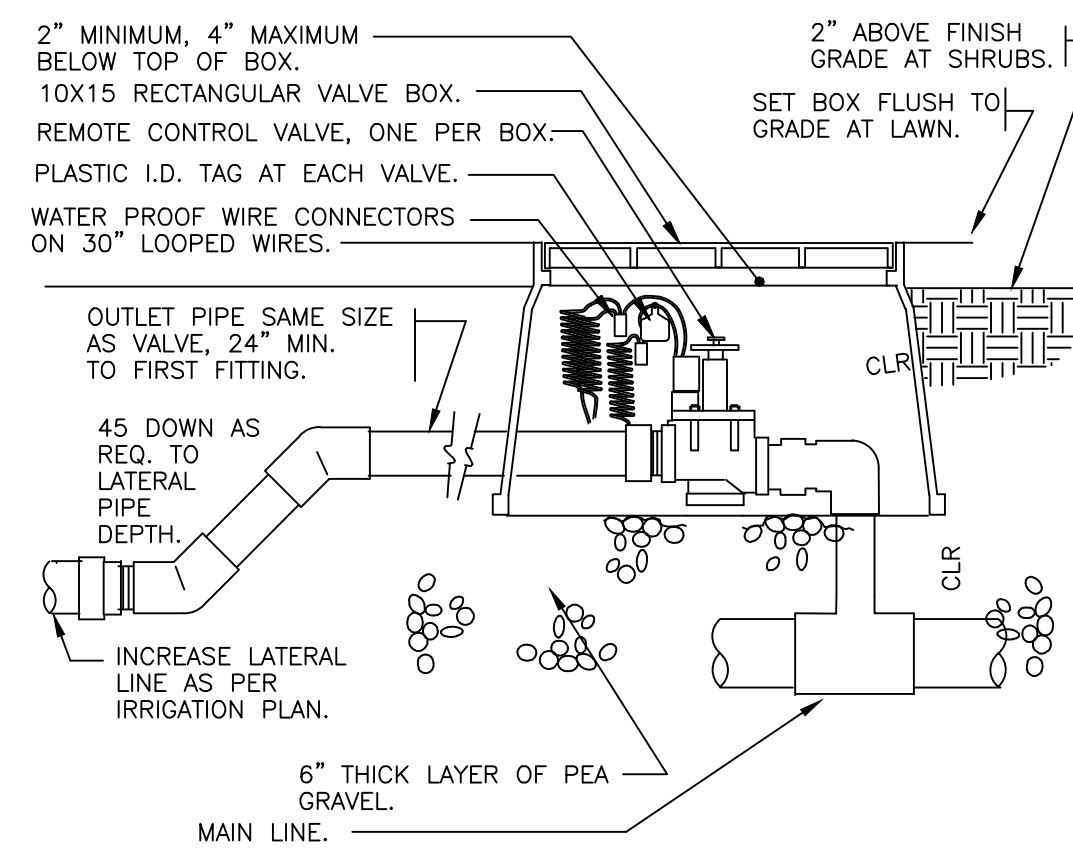
3 XDF Dripline Connection
NOT TO SCALE



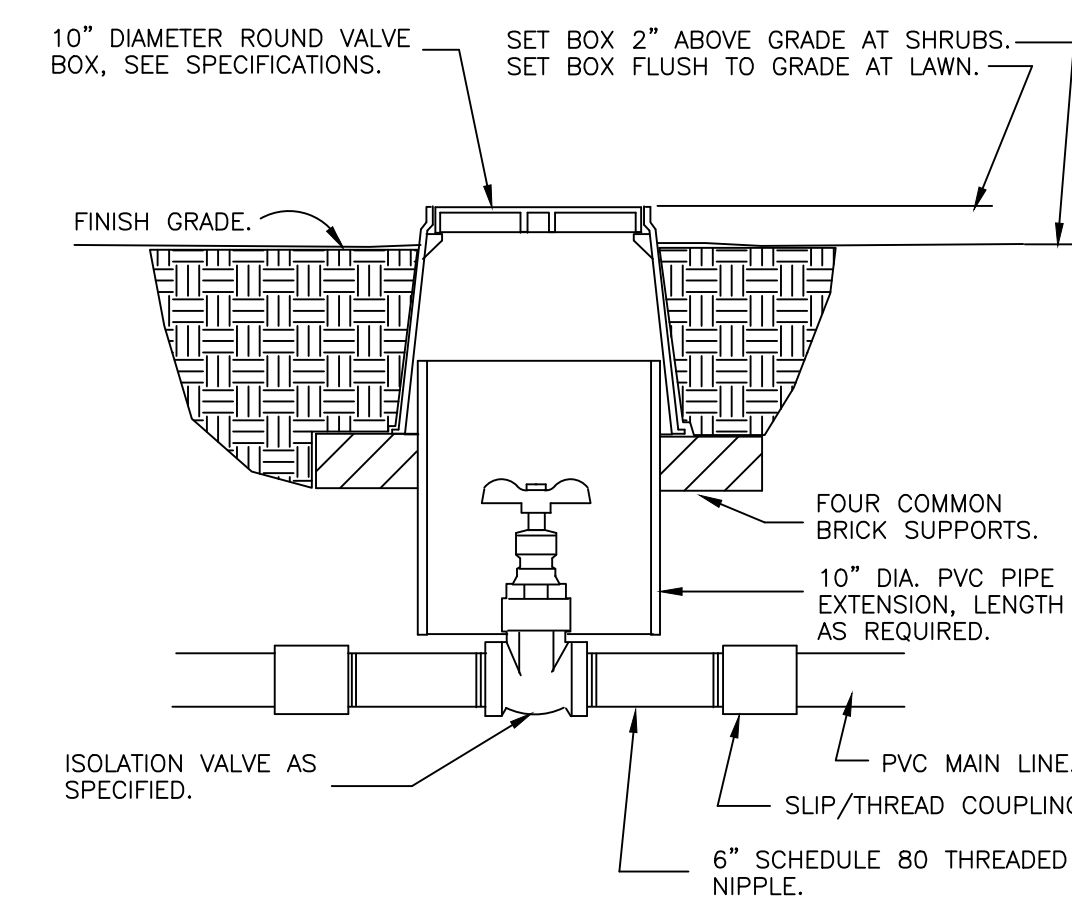
- 1 RAIN BIRD ESP-SMT4 OUTSIDE WALL MOUNT
- 2 1-INCH PVC SCH 40 CONDUIT AND FITTINGS
- 3 WIRES TO REMOTE CONTROL VALVES AND SENSOR
- 4 OPTIONAL MODULES FOR 13-STATION CONTROLLER
- 5 CONNECTION FOR WIRES FROM SENSOR
- 6 JUNCTION BOX
- 7 1/2-INCH PVC SCH 40 CONDUIT TO POWER SUPPLY



- NOTE: WIRE LENGTH FROM CONTROLLER TO SENSOR NOT TO EXCEED 200 FEET.

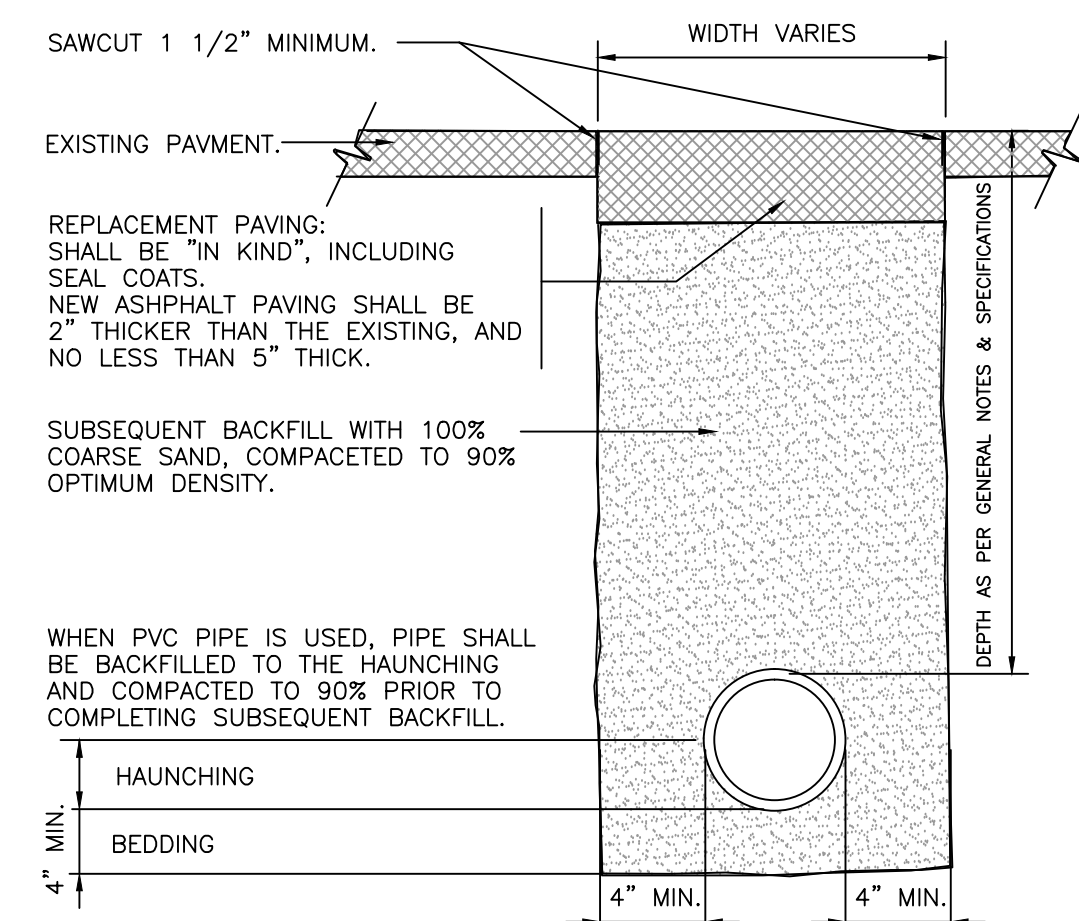


5 ELECTRIC REMOTE CONTROL VALVE
NOT TO SCALE

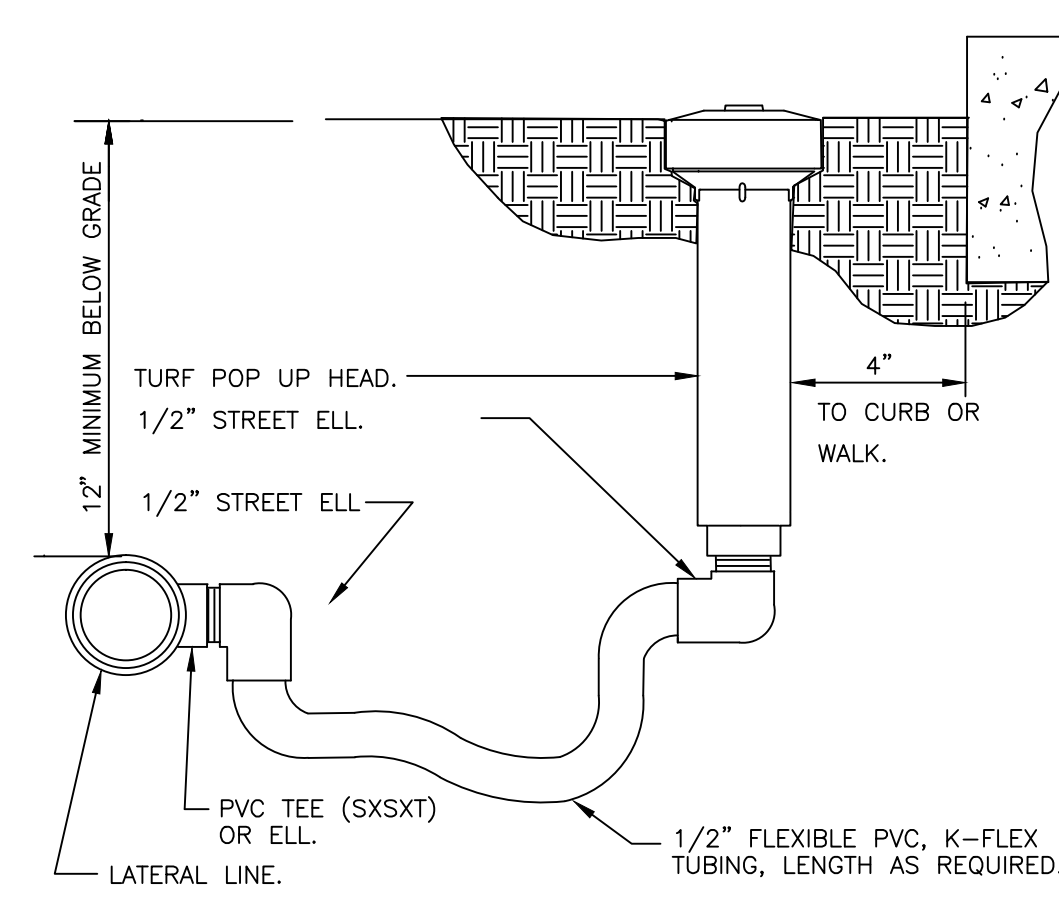


6 BRASS ISOLATION VALVE
NOT TO SCALE

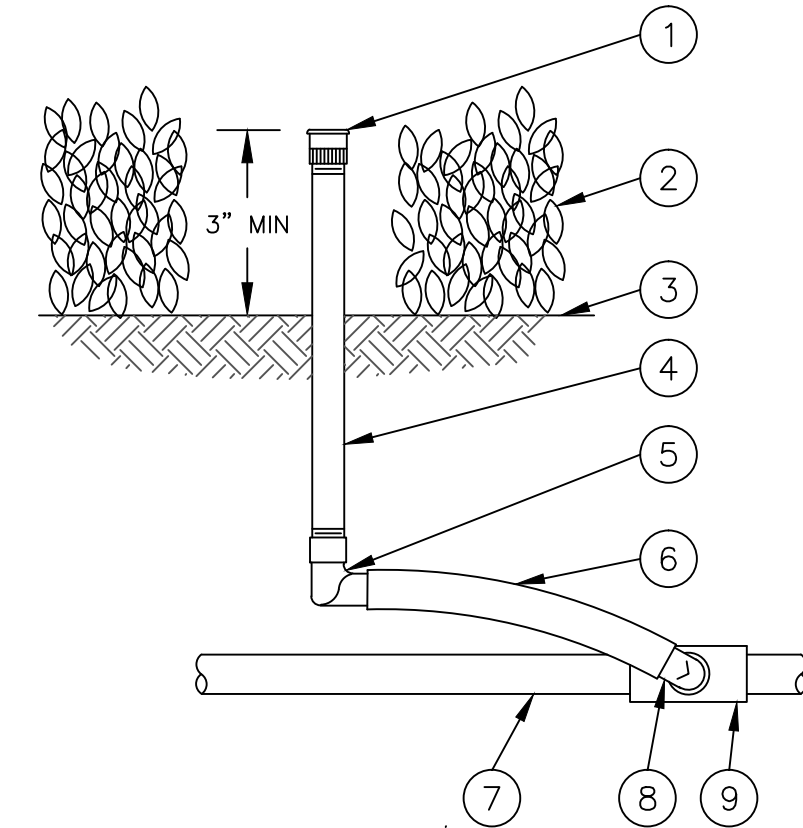
4 ESP-SMT SMART CONTROL SYSTEM
NOT TO SCALE



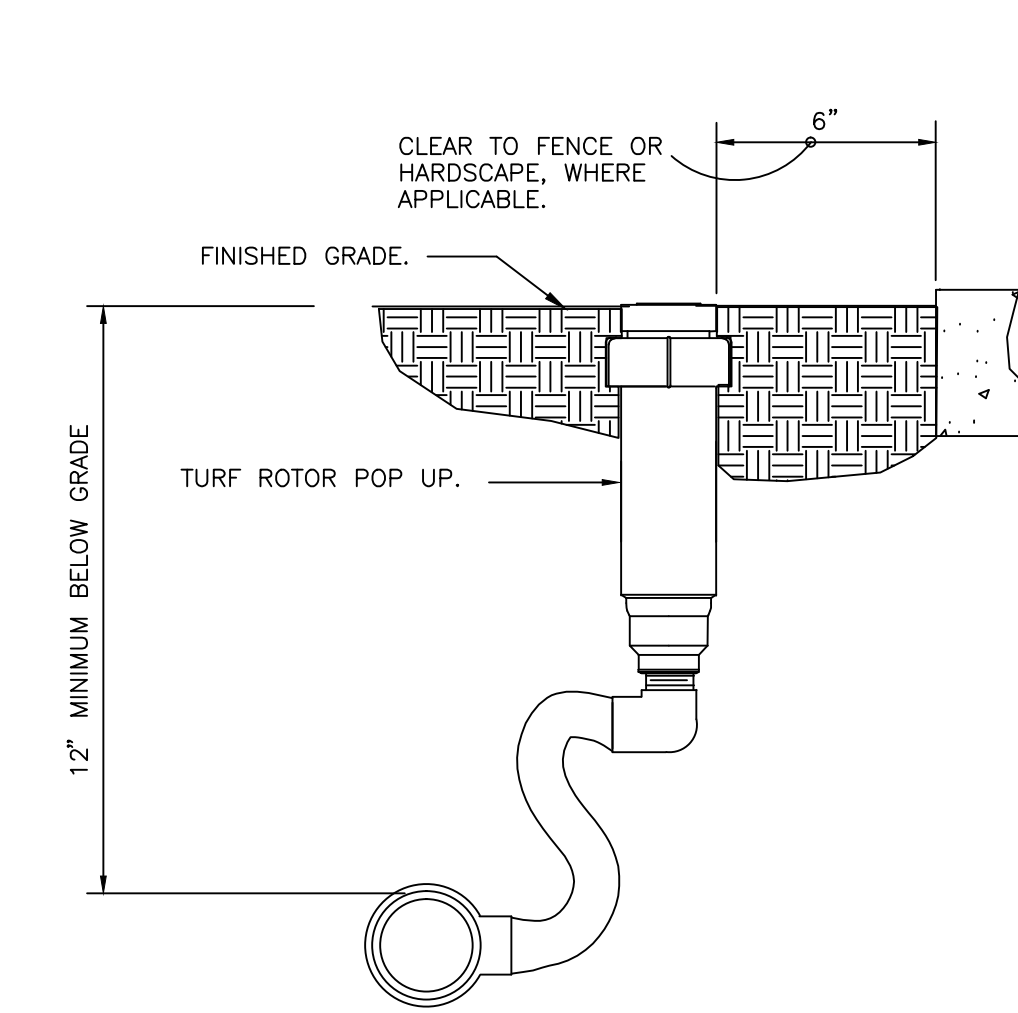
7 TRENCH DETAIL AT ASPHALT PAVING
NOT TO SCALE



8 TURF SPRAY FLEX ASSEMBLY
NOT TO SCALE



9 PRESSURE COMPENSATING FULL-CIRCLE BUBBLER
NOT TO SCALE



10 TURF ROTOR FLEX ASSEMBLY
NOT TO SCALE

ALPHA PACIFICA LLC
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www.alpha-pacific.com

SCALE AS NOTED
DESIGNED BY GR
DRAWN BY BW
CHECKED BY GR

IRRIGATION DETAILS

5707 UNIVERSITY BLVD. WEST
JACKSONVILLE FLORIDA

DATE 02/18/19
PROJECT NO.
SHEET NUMBER L201

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