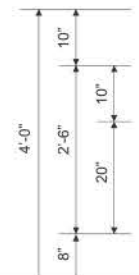
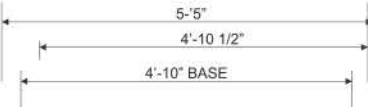
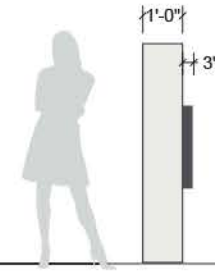


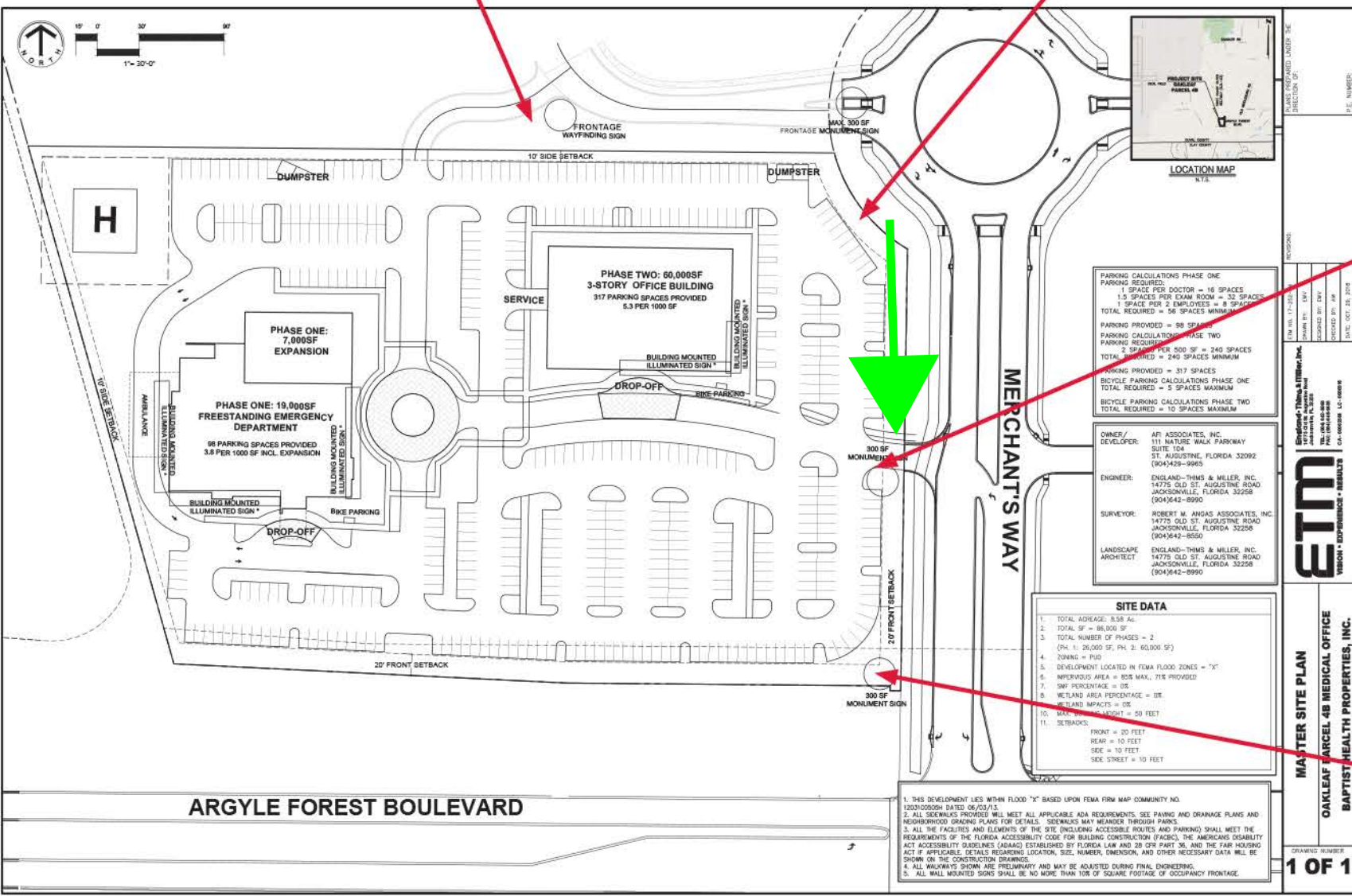
August 21, 2019



FRONT VIEW
1/4" = 1'-0"



SIDE VIEW
1/4" = 1'-0"



PARKING CALCULATIONS PHASE ONE

PARKING REQUIRED:

- 1 SPACE PER DOCTOR = 16 SPACES
- 1.5 SPACES PER EXAM ROOM = 32 SPACES
- 1 SPACE PER 2 EMPLOYEES = 8 SPACES
- TOTAL REQUIRED = 56 SPACES MINIMUM

PARKING PROVIDED = 98 SPACES

PARKING CALCULATIONS PHASE TWO

PARKING REQUIRED:

- 1 SPACE PER 500 SF = 240 SPACES
- TOTAL REQUIRED = 240 SPACES MINIMUM

PARKING PROVIDED = 317 SPACES

BICYCLE PARKING CALCULATIONS PHASE ONE

TOTAL REQUIRED = 5 SPACES MAXIMUM

BICYCLE PARKING CALCULATIONS PHASE TWO

TOTAL REQUIRED = 10 SPACES MAXIMUM

OWNER/DEVELOPER: AFI ASSOCIATES, INC.
111 MATTHEW WALK PARKWAY
SUITE 104
ST. AUGUSTINE, FLORIDA 32092
(904)428-9965

ENGINEER: ENGLAND-THIMS & MILLER, INC.
14775 OLD ST. AUGUSTINE ROAD
JACKSONVILLE, FLORIDA 32258
(904)642-8990

SURVEYOR: ROBERT M. ANGLAS ASSOCIATES, INC.
14775 OLD ST. AUGUSTINE ROAD
JACKSONVILLE, FLORIDA 32258
(904)642-8550

LANDSCAPE ARCHITECT: ENGLAND-THIMS & MILLER, INC.
14775 OLD ST. AUGUSTINE ROAD
JACKSONVILLE, FLORIDA 32258
(904)642-8990

SITE DATA

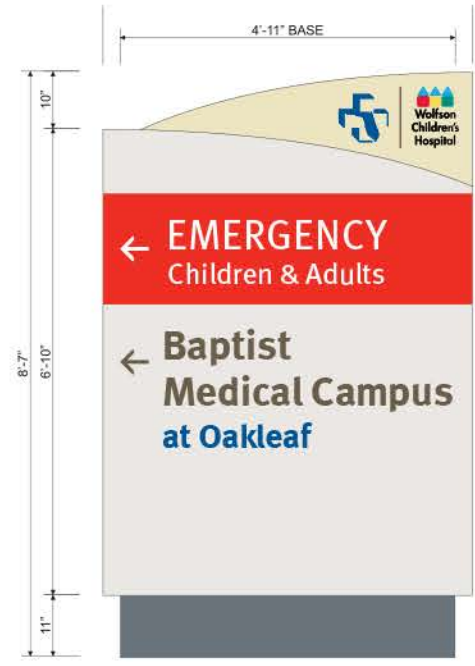
- TOTAL ACREAGE: 8.58 AC.
- TOTAL SF = 86,000 SF
- TOTAL NUMBER OF PHASES = 2
(PH 1: 26,000 SF, PH 2: 60,000 SF)
- ZONING = PUD
- DEVELOPMENT LOCATED IN FEMA FLOOD ZONES = "X"
- IMPERVIOUS AREA = 80% MAX, 7% PROVIDED
- SWP PROCEEDING = DIS
- WETLAND AREA PERCENTAGE = DIS
- WETLAND IMPACTS = DIS
- MAX. SIGN HEIGHT = 50 FEET
- SETBACKS:
FRONT = 20 FEET
REAR = 10 FEET
SIDE = 10 FEET
SIDE STREET = 10 FEET

- THIS DEVELOPMENT LIES WITHIN FLOOD "X" BASED UPON FEMA FIRM MAP COMMUNITY NO. 1203100505H DATED 06/03/13.
- ALL SIDEWALKS PROVIDED WILL MEET ALL APPLICABLE ADA REQUIREMENTS. SEE PAVING AND DRAINAGE PLANS AND NEIGHBORHOOD GRADING PLANS FOR DETAILS. SIDEWALKS MAY MEANDER THROUGH PARKS.
- ALL THE FACILITIES AND ELEMENTS OF THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC), THE AMERICANS DISABILITY ACT ACCESSIBILITY GUIDELINES (ADAAG) ESTABLISHED BY FLORIDA LAW AND 28 CFR PART 36, AND THE FAIR HOUSING ACT IF APPLICABLE. DETAILS REGARDING LOCATION, SIZE, NUMBER, DIMENSION, AND OTHER NECESSARY DATA WILL BE SHOWN ON THE CONSTRUCTION DRAWINGS.
- ALL WALKWAYS SHOWN ARE PRELIMINARY AND MAY BE ADJUSTED DURING FINAL ENGINEERING.
- ALL WALL MOUNTED SIGNS SHALL BE NO MORE THAN 10% OF SQUARE FOOTAGE OF OCCUPANCY FRONTAGE.

ETM
VISION • EXPERIENCE • RESULTS

MASTER SITE PLAN
OAKLEAF PARCEL 4B MEDICAL OFFICE
BAPTIST HEALTH PROPERTIES, INC.

1 OF 1





Note: the wall would be behind the black mesh fence in the photo.



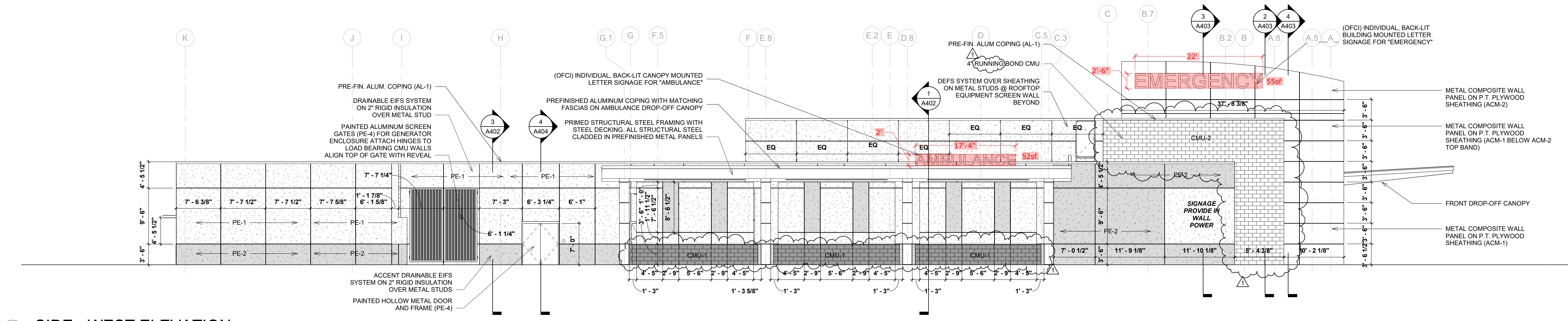
BUILDING MATERIALS & FINISH			BUILDING MATERIALS & FINISH		
MATERIAL INFORMATION	SYMBOL OR DESIGNATION	MATERIAL COLOR	MATERIAL INFORMATION	SYMBOL OR DESIGNATION	MATERIAL COLOR
DRAINABLE EIFS - COLOR 1	PE-1	MATCH: SHERWIN WILLIAMS SW 7671 ON THE ROCKS	EXTERIOR H.M. DOORS AND FRAMES	PE-4	SHERWIN WILLIAMS - COLOR TO MATCH FIELD STO COLOR "PACIFIC SAND"
DRAINABLE EIFS - COLOR 2	PE-2	MATCH: SHERWIN WILLIAMS SW 7669 SUMMIT GRAY	GUTTERS, DOWNSPOUT & BRACKETS	GDS-1	MATCH PAC-CLAD COLOR: "SILVER"
SPANDREL GLASS			PRE-FINISHED ALUMINUM COPING AND LOUVERS	AL-1	MATCH DURANAR 2 COAT COLOR "ANODIC CLEAR" (RUC 110423F)
PRE-FIN ALUMINUM COMPOSITE METAL PANEL	ACM-1	MATCH - CUSTOM BLUE COLOR TO MATCH OWNER LOGO SELECTION	PRE-FINISHED ALUM. COPING	AL-3	DURANAR 2 COAT TO MATCH CUSTOM BLUE COLOR OF OWNER LOGO SELECTION
PRE-FIN ALUMINUM COMPOSITE METAL PANEL	ACM-2	MATCH CENTRIA-2 COAT "REGAL WHITE" #179	PRE-FINISHED ALUM. SUN SHADES		MATCH CURTAIN WALL COLOR
PRE-FIN ALUMINUM COMPOSITE METAL PANEL	ACM-3	MATCH CENTRIA-2 COAT "CHROMIUM GRAY" #971			
EXTERIOR ALUMINUM CURTAIN WALL FRAMING		CLASS 1 - ANODIZED NATURAL ALUM.			
4" CMU VENEER - COLOR 1	CMU-1	TRENWYTH - VERASTONE - COLOR: NICKEL PROVIDE SPECIAL SHAPES FOR FULL BLOCK APPEARANCE			
4" CMU VENEER - COLOR 2	CMU-2	TRENWYTH - TRENDSTONE - COLOR: TEMPLE GREY PROVIDE SPECIAL SHAPES FOR FULL BLOCK APPEARANCE			

- GENERAL NOTES FOR EXTERIOR ELEVATIONS**
- PAIN EXPOSED ROOF MOUNTED EQUIPMENT, PIPING, SCREENS, ETC. IN A COLOR AS SELECTED BY THE ARCHITECT. EXCEPT THAT, ITEMS WHICH ARE ALUMINUM OR STAINLESS STEEL SHALL NOT BE PAINTED.
 - REFER TO EXTERIOR ELEVATION DRAWINGS FOR EXTERIOR WALL FINISHES.
 - THE COLOR OF THE FASCIA AT THE GRAVEL GUARD SHALL BE AS NOTED ON ELEVATION DRAWINGS.
 - PAIN EXTERIOR SURFACES OF HOLLOW METAL DOORS AND DOOR FRAMES IN A COLOR AS INDICATED ON THE EXTERIOR ELEVATIONS.
 - PROVIDE WALL MOUNTED BACK-LIT EMERGENCY SIGNAGE ON THE EXTERIOR OF THE BUILDING. VERBAGE FOR EACH OF THESE SIGNS IS INDICATED ON SHEET AS.01
 A. AT MAIN ENTRANCE: PROVIDE ELECTRICAL CONNECTION AND PHOTOCELL
 B. AT EMERGENCY ENTRANCE: PROVIDE ELECTRICAL CONNECTION AND PHOTOCELL
 C. AT OUTPATIENT ENTRANCE: PROVIDE ELECTRICAL CONNECTION AND PHOTOCELL

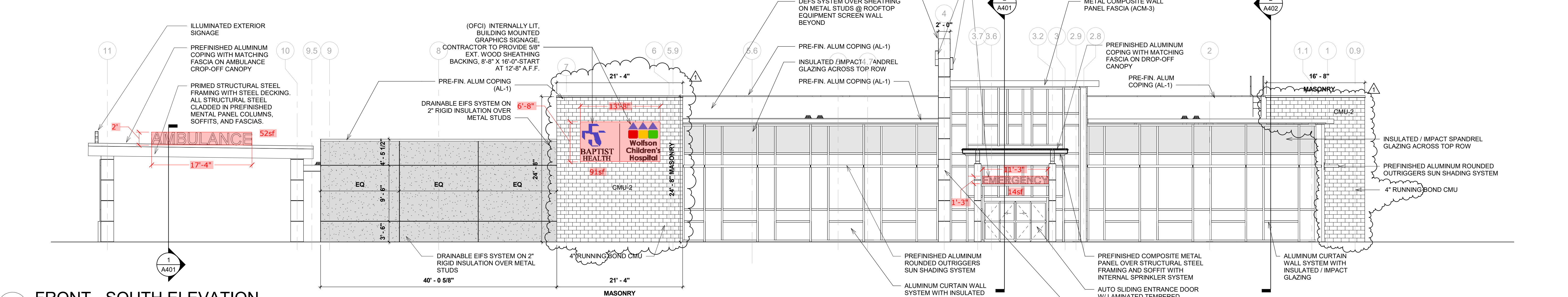
Gresham Smith
 GreshamSmith.com
 225 Water Street
 Suite 2200
 Jacksonville, FL 32202
 904.332.6699
 FIRM'S FLORIDA CERT. NO.
 AAP000034/CA3806
 IB26000797/LC26000381

BAPTIST HEALTH
 Changing Health Care for Good®

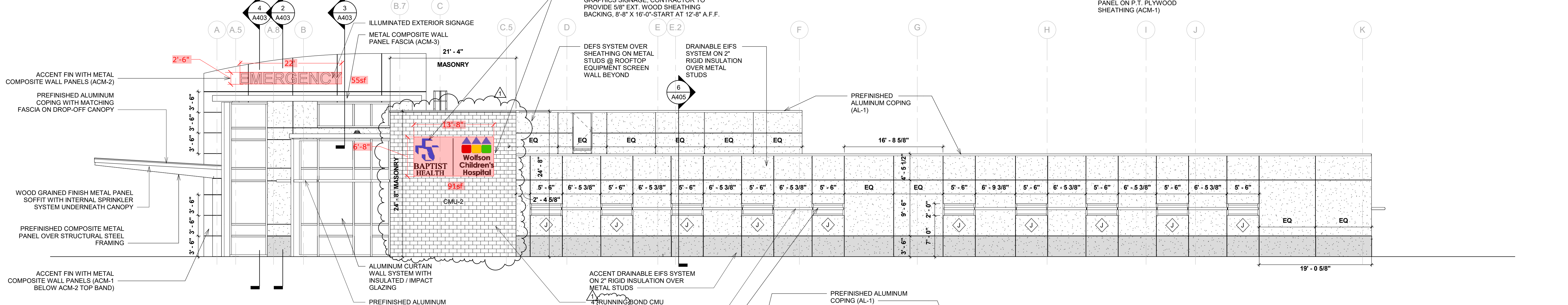
**BAPTIST MEDICAL CENTER SOUTH
 OAKLEAF FREESTANDING
 EMERGENCY DEPARTMENT**
 JACKSONVILLE, FL
 Baptist C&A No.: 5633
 Florida AHCA Project Submission No.: 132-1
 Client Code / File No.: 23/23960052



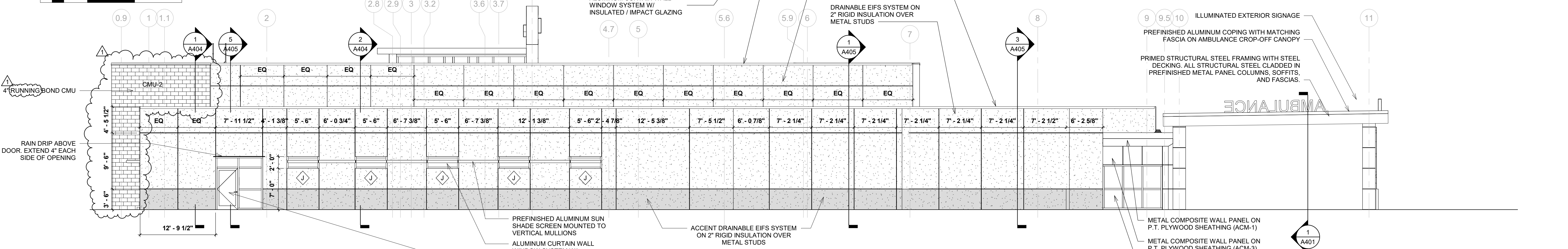
4 SIDE - WEST ELEVATION
 0' 4' 8' 16' 24' 1/8" = 1'-0"



3 FRONT - SOUTH ELEVATION
 0' 4' 8' 16' 24' 1/8" = 1'-0"



2 SIDE - EAST ELEVATION
 0' 4' 8' 16' 24' 1/8" = 1'-0"



1 REAR - NORTH ELEVATION
 0' 4' 8' 16' 24' 1/8" = 1'-0"

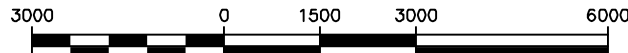
Issue & Revision Log

No.	Date	Description
1	TBD	CCD No. 1

EXTERIOR ELEVATIONS
A301
 43397.01
 1/15/2019
 This Line is 3 inches High When Printed

August 21, 2019

GRAPHIC SCALE



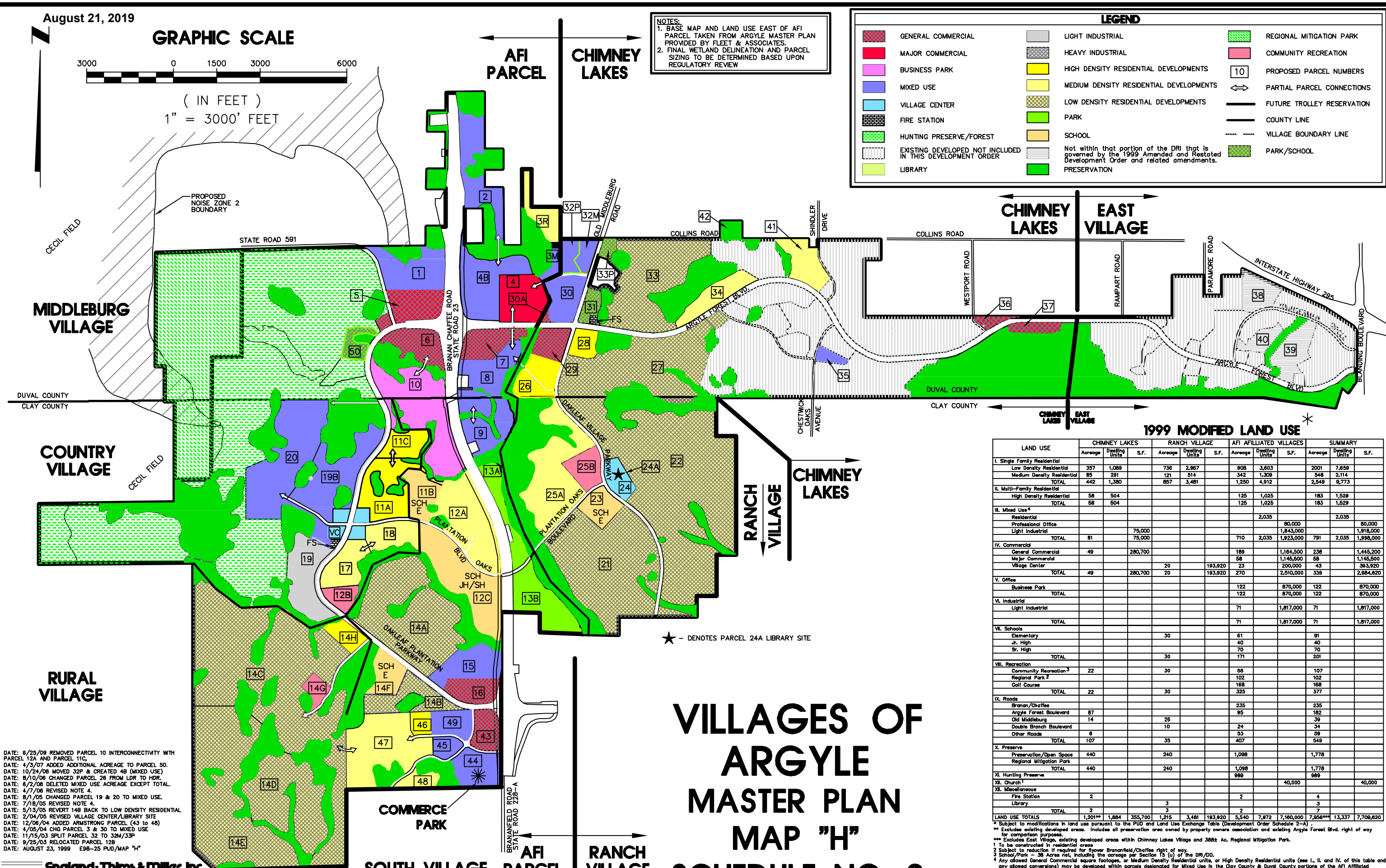
(IN FEET)
1" = 3000' FEET

NOTES:
1. BASE MAP AND LAND USE EAST OF AFI PARCEL TAKEN FROM ARGYLE MASTER PLAN PROVIDED BY FLEET & ASSOCIATES.
2. FINAL WETLAND DELINEATION AND PARCEL SIZING TO BE DETERMINED BASED UPON REGULATORY REVIEW

LEGEND

	GENERAL COMMERCIAL		LIGHT INDUSTRIAL		REGIONAL MITIGATION PARK
	MAJOR COMMERCIAL		HEAVY INDUSTRIAL		COMMUNITY RECREATION
	BUSINESS PARK		HIGH DENSITY RESIDENTIAL DEVELOPMENTS		PROPOSED PARCEL NUMBERS
	MIXED USE		MEDIUM DENSITY RESIDENTIAL DEVELOPMENTS		PARTIAL PARCEL CONNECTIONS
	VILLAGE CENTER		LOW DENSITY RESIDENTIAL DEVELOPMENTS		FUTURE TROLLEY RESERVATION
	FIRE STATION		PARK		COUNTY LINE
	HUNTING PRESERVE/FOREST		SCHOOL		VILLAGE BOUNDARY LINE
	EXISTING DEVELOPED NOT INCLUDED IN THIS DEVELOPMENT ORDER		PRESERVATION		PARK/SCHOOL
	LIBRARY				

Not within that portion of the DRI that is governed by the 1999 Amended and Restated Development Order and related amendments.



★ - DENOTES PARCEL 24A LIBRARY SITE

VILLAGES OF ARGYLE MASTER PLAN MAP "H" SCHEDULE NO. 2

1999 MODIFIED LAND USE

LAND USE	CHIMNEY LAKES			RANCH VILLAGE			AFI AFFILIATED VILLAGES			SUMMARY		
	Acreage	Dwelling Units	S.F.	Acreage	Dwelling Units	S.F.	Acreage	Dwelling Units	S.F.	Acreage	Dwelling Units	S.F.
I. Single Family Residential												
Low Density Residential	357	1,089	736	2,967	908	3,603	2001	7,859				
Medium Density Residential	85	281	121	514	342	1,309	548	2,114				
TOTAL	442	1,380	857	3,481	1,250	4,912	2,548	9,773				
II. Multi-Family Residential												
High Density Residential	58	504	125	1,025	183	1,529						
TOTAL	58	504	125	1,025	183	1,529						
III. Mixed Use ⁴												
Residential						2,035						2,035
Professional Office							80,000					80,000
Light Industrial			75,000				1,843,000					1,918,000
TOTAL	81		75,000			710	2,035	1,923,000	791	2,035		1,998,000
IV. Commercial												
General Commercial	49		280,700			189	1,164,500	238	1,445,200			
Major Commercial					58	1,146,500	58	1,146,500				
Village Center			20	193,920	23	200,000	43	393,920				
TOTAL	49		280,700	20	193,920	270	2,510,000	339	2,984,620			
V. Office												
Business Park					122	870,000	122	870,000				
TOTAL					122	870,000	122	870,000				
VI. Industrial												
Light Industrial					71	1,817,000	71	1,817,000				
TOTAL					71	1,817,000	71	1,817,000				
VII. Schools												
Elementary			30		61		91					
Jr. High					40		40					
Sr. High					70		70					
TOTAL			30		171		201					
VIII. Recreation												
Community Recreation ³	22		30		55		107					
Regional Park ²					102		102					
Golf Course					168		168					
TOTAL	22		30		325		377					
IX. Roads												
Branan/Chaffee					235		235					
Argyle Forest Boulevard			87		95		182					
Old Middleburg			14		26		39					
Double Branch Boulevard					10		24					
Other Roads			6		53		59					
TOTAL			107		35		407					
X. Preserve												
Preservation/Open Space	440		240		1,098		1,778					
Regional Mitigation Park					1,098		1,778					
TOTAL	440		240		2,196		3,556					
XI. Hunting Preserve					989		989					
XII. Church ¹						40,000						40,000
XIII. Miscellaneous												
Fire Station	2				2		4					
Library					3		3					
TOTAL	2				5		7					
LAND USE TOTALS	1,201**	1,884	355,700	1,215	3,481	193,920	5,540	7,872	7,180,000	7,956***	13,337	7,708,620

* Subject to modifications in land use pursuant to the PUD and Land Use Exchange Table (Development Order Schedule 2-A).
 ** Excludes existing developed areas. Includes all preservation area owned by property owners association and existing Argyle Forest Blvd. right of way for comparison purposes.
 *** Excludes East Village, existing developed areas within Chimney Lakes Village and 388th Ac. Regional Mitigation Park.
 1 To be constructed in residential areas.
 2 Subject to reduction if required for flyover Branonfield/Chaffee right of way.
 3 School/Park - 38 Acres net, including the acreage per Section 15 (u) of the DR/DD.
 4 Any allowed General Commercial square footages, or Medium Density Residential units, or High Density Residential units (see I., II. and IV. of this table and any allowed conversions) may be developed within parcels designated for Mixed Use in the Clay County & Duval County portions of the AFI Affiliated Villages within Clay County. Up to 50,000 square feet of the Village Center uses authorized to be developed in Ranch Village may be developed in the Mixed Use or General Commercial areas of the AFI Affiliated Villages within Clay County. Up to 900 residential units (any type) authorized to be developed in Ranch Village may be developed in the residential or Mixed Use areas of the AFI Affiliated Villages within Clay County. Up to 50,000 square feet of the Village Center uses authorized to be developed in Ranch Village may be developed in the Mixed Use or General Commercial areas of the AFI Affiliated Villages within Clay County.

DATE: 6/25/09 REMOVED PARCEL 10 INTERCONNECTIVITY WITH PARCEL 12A AND PARCEL 11C.
 DATE: 4/3/07 ADDED ADDITIONAL ACREAGE TO PARCEL 50.
 DATE: 10/24/06 MOVED 32P & CREATED 4B (MIXED USE)
 DATE: 8/10/06 CHANGED PARCEL 26 FROM LDR TO HDR.
 DATE: 6/2/06 DELETED MIXED USE ACREAGE EXCEPT TOTAL.
 DATE: 4/7/06 REVISED NOTE 4.
 DATE: 8/1/05 CHANGED PARCEL 19 & 20 TO MIXED USE.
 DATE: 7/18/05 REVISED NOTE 4.
 DATE: 5/13/05 REVERT 14B BACK TO LOW DENSITY RESIDENTIAL.
 DATE: 2/04/05 REVISED VILLAGE CENTER/LIBRARY SITE.
 DATE: 12/06/04 ADDED ARMSTRONG PARCEL (43 TO 48)
 DATE: 4/05/04 CHG PARCEL 3 & 30 TO MIXED USE
 DATE: 11/15/03 SPLIT PARCEL 32 TO 32M/33P
 DATE: 9/25/03 RELOCATED PARCEL 12B
 DATE: AUGUST 23, 1999 E98-25 PUD/MAP "H"

England-Thimby & Miller, Inc.
 ENGINEERS - PLANNERS - SURVEYORS - LANDSCAPE ARCHITECTS
 14775 ST. AUGUSTINE ROAD
 JACKSONVILLE, FLORIDA 32256
 PHONE NUMBERS (904) 648-9990 FAX NUMBER (904) 646-9405